

UPLAND HILLS COUNTRY CLUB

SPECIFIC PLAN

REVISED SPECIFIC PLAN PER

CUP-80-08: MOD.# 13

MAY 2016

Dec. 1 1998, Mod:12 (Reso 3995)

UPLAND HILLS COUNTRY CLUB
SPECIFIC PLAN
DRAFT
CITY OF UPLAND, CA
SEPTEMBER 1980 (ORIGINAL APPROVAL)

DECEMBER 1998 (CURRENT APPROVED VERSION)

Resolution 3995: MOD #12

MAY 2016 (PROPOSED VERSION)

CUP-80-08: MOD #13

Text within asterisk denotes: *Revisions added as of October 1985*

All Specific Plan text pages that have had updates in conjunction with the 2016 Specific Plan modification have a "(2016)" listed under the page number at the bottom of the page.

2016 AMENDMENT PREPARED FOR:

Diversified Pacific Communities

2016 AMENDMENT PREPARED BY:

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UPLAND HILLS COUNTRY CLUB

SPECIFIC PLAN

TABLE OF CONTENTS

	<u>PAGES</u>
EXECUTIVE SUMMARY (2016)	i-ii
INTRODUCTION (PER 1981 SPECIFIC PLAN)	1
o Purpose and Intent	1
o Authority and Scope	2
o Application	2
SECTION ONE	
Background of Existing Conditions	3a
o 2016 Summary Update	3a-d
o Specific Plan Area 1985 (see pgs. 3a-c, 2016 update)	3
o The City of Upland General Plan 1979 (see 2016 update)	4
o Summary of Existing Site Conditions 1985	5a
o Area Context 1985 (see 2016 update)	5a
o Existing Circulation 1985 (see 2016 update)	6
o Existing Ownership 1985 (see 2016 update)	7
o Existing Community Facilities 1985 (see 2016 update)	8
o Existing Physical Conditions 1985 (see 2016 update)	10
o Upland Hills Objectives and Concepts 1981	11
o Planning Objectives	11
o Planning Concepts	11
SECTION TWO	
Specific Plan Components	13a
o Development Land Use Component	13a
o Development Concept (2016 Updated)	13a
o Land Use 2016	16
o Residential	16
o Commercial	16
o Golf Course/Recreational Amenities	16

SECTION TWO (Continued)

	<u>PAGES</u>
○ Grading Analysis	17
○ Transportation Component	19
○ Circulation Systems	19
○ Roads and Major Collectors	19
○ Entry Treatment	21
○ Traffic Volumes	22
○ Commercial Use	22
○ Public Transportation / Alternatives	
Transportation Methods	22
○ Golf Course	23
○ Public Works Component	24
○ Storm Drainage/Flood Control	24
○ Storm Drains and Drainage	24
○ Sewer System	26
○ Wastewater Treatment Plant	26
○ Water System	29
○ Resource Conservation	30
○ Community Design Component	33
Basic Design Concept	33
○ Basic Grading Concept	33
○ Landscape Standards	35
○ Landscape Concept/Standards	36
○ Drought Tolerant Plants	39
○ Riparian Plant List	41
○ Drought Tolerant Plant Matrix	43
○ Development Area E Concept Plant Schedule	51a

SECTION TWO (Continued)

	<u>PAGES</u>
○ Typical Edge Condition Cross-Sections	52
○ Typical Intersection Conditions	55
○ Road Standards	63
○ Reference Plan	64
○ Subsurface Passageway	65
○ Street Sections	66
○ Noise Mitigation Concept/Standards	68
<h2>SECTION THREE</h2>	
<h3>Land Use Regulations</h3>	
○ Land Use Regulations and Standards	70
○ General Development Standards	70
○ Residential Development Standards (2016 Updated)	72
○ Site Development Standards (2015 Updated)	73-79
○ Commercial Development Standards	80
○ Road Standards (2016 Updated)	85
<h2>SECTION FOUR</h2>	
Implementation Program (2016 Updated)	86
○ Review Processes	86
○ Specific Plan Amendments/Revisions	86
○ Project Phasing	87
○ Matrix or Ownership, Installation and Maintenance	88
Appendix	90
○ Specific Plan Property Description	
○ Definitions	

LIST OF FIGURES

	<u>PAGE</u>
Vicinity Map	3
Area Context Map 1981	5a
Area Context Map 2016	5b
Development Area Plan 2016	13c
Old World Theme Rendering 1981	14
Site Plan (Land Use Plan) 2016	15
Proposed Circulation 1985	20
Existing and Proposed Drainage 1985	25
Landscape Concept Plan 1985	37
Circulation Reference Plan 1985	64
Phasing Plan 2016	89

SPECIFIC PLAN – 2016

UPLAND HILLS COUNTRY CLUB

EXECUTIVE SUMMARY

This initial section provides an executive summary of the current Upland Hills Country Club Specific Plan and the changes made to it in 2016 through Modification No. 12 to Conditional Use Permit No. CUP-80-08. The original Upland Hills Country Club Specific Plan (SPR-6) was approved by the Upland City Council on January 19, 1981. There have been multiple modifications approved to the Specific Plan and CUP, including the last previous modifications approved by the City in 1998 (Modification No. 12), 1996 (Modification No. 11), and 1994 (Modification No. 10). The Specific Plan area as originally indicated included approximately 237 acres, the Specific Plan area has currently been reduced to approximately 215 acres through removal of an area in the northeast corner (Modification No. 1, 1983) and other subsequent adjustments. The 2016 modification has not changed the Specific Plan area from that of previous modifications.

The Upland Hills Country Club Specific Plan located on both the north and south sides of 16th Street, east of North Campus Avenue, was originally approved with an 18-hole golf course, club house, additional recreational facilities, neighborhood commercial area, and single-family residential condominium dwelling units. The Specific Plan as originally approved and previously modified allows residential use at a low density of up to 3 dwellings per gross acre of project area (see page 72). The golf course, including club house, was completed by 1985 or sooner and has been in operation continuously since. The neighborhood commercial area on the north side of 16th Street was completed by 1998. Residential development within the Specific Plan area was previously completed by approximately 1998 and consisted of 544 homes.

The 2016 amendment to the Upland Hills Country Club Specific Plan (Modification No. 13) includes the following changes as proposed:

- Addition of residential Development Area “E” to the Specific Plan area located east of Upland Hills Dr. North and on the north side of 16th Street (see Development Area Plan 2016 on page 13c). This modification removes and replaces approximately 8.5 acres of former golf course area as new residential development area.
- Residential Development Area E allows up to 68 single-family detached condominium units. This modification increases the overall total anticipated dwelling units in the Specific Plan to approximately 612 units for an overall Specific Plan gross density of 2.85 units per acre. The density remains within the maximum 3.0 dwelling units per acre allowed by the Specific Plan.
- The entrance to Development Area E will be off the east side of Upland Hills Dr. North coming off of the north side of 16th Street. There is an existing driveway at this location that serves the existing commercial area on the east side of Upland Hills Dr. North and the south end of the golf course club house parking area. This driveway will be extended eastward into Development Area E and could be gated at this point to provide restricted access to the residences in Development Area E. A gated secondary egress only driveway will be provided on the north side

of 16th Street for Development Area E residents. This secondary driveway will also allow for emergency vehicle access for Development Area E.

- Golf course holes #9, #10 and #18 are reconfigured to allow for the creation of residential Development Area E. Hole #9 is reconstructed and shortened from a 4 par to a 3 par. Hole #10 is shortened from a 4 par to a 3 par and reconstructed and repositioned east of Development Area E. The tee boxes on hole #18 are slightly repositioned, but this hole remains a par 4. The course remains a complete 18-hole course. The water features between holes 9 and 18 are enhanced and reconstructed and a new water feature south of hole #8, on the north side of 16th Street is proposed. Other cart path reconstruction and landscaping improvements are proposed. The 8.5 acre residential Development Area E also repurposes other underutilized golf course area.

The Introduction section following this Executive Summary remains as is when the Upland Hills Country Club Specific Plan was adopted in January 1981.

Section 1, *Background of Existing Conditions*, of the Specific Plan has a new summary added at the beginning to provide a brief update of the Specific Plan conditions as of 2015 and early 2016. The remainder of this section reflects conditions as of 1980-81 with minor modifications made in subsequent Specific Plan modifications approved in the later 1980's and early 1990's. A new Area Context Map exhibit (page 5b) is added to this section reflecting conditions as of 2015-16.

Section 2, *Specific Plan Components*, has had the Development Concept and Land Use subsections at the beginning updated as of 2016 (pages 13a, 13b and 16). The remainder of this section remains relevant as previously approved with minor modifications made in subsequent Specific Plan modifications approved in the later 1980's and early 1990's. A new Development Area Plan 2016 exhibit (page 13c) for the Specific Plan area has been added in this section that includes new Development Area E. A new Site Plan (Land Use Plan) 2016 exhibit (page 15) for the Specific Plan area has been added in this section that includes the new residential use in Development Area E.

Section 3, *Land Use Regulations*, has had the Site Development Standards (Residential) subsection updated as of 2016 (pages 73-79). In addition, the Road Standard subsection (page 87) has been updated for Development Area E as of 2016. The remainder of this section remains relevant as previously approved with minor modifications made in subsequent Specific Plan modifications approved in the later 1980's and early 1990's.

Section 4, *Implementation Program*, has been updated in its introduction (page 86), in the Project Phasing subsection (page 87), and in the Matrix of Responsibility (page 88) to reflect current conditions (2016) and the addition of residential Development Area E. A new Phasing Plan 2016 exhibit (page 90) for the Specific Plan area has been added in this section that includes the new residential use in Development Area E.

Appendix, an updated legal description of the overall Specific Plan area has been included in this section to reflect current conditions as of 2016.

All Specific Plan text pages that have had updates in conjunction with the 2016 Specific Plan modification have a "(2016)" listed under the page number at the bottom of the page.

Text within asterisks denotes *Revisions added as of October 1985 Specific Plan modifications*

SPECIFIC PLAN
UPLAND HILLS COUNTRY CLUB

INTRODUCTION

Purpose and Intent

The purpose of the Upland Hills Country Club Specific Plan is to allow for the establishment of a residential condominium community with golf course and commercial facilities within the City of Upland. The planning analysis and development standards that comprise this text are intended to provide guidance for planners, landowners, engineers, and decision-makers during design and review of development projects.

The development of the specific plan is allowed pursuant to Section 65450 et. seq. of the California Government Code, as an alternative to conventional zoning for implementation of a jurisdiction's general plan. A specific plan is to include "...all detailed regulations, conditions, programs and proposed legislation which shall be necessary or convenient for the systematic implementation of each element of the general plan...".

This specific plan is organized into the following sections:

- o Background of Existing Condition: A detailed description of the Specific Plan Area.
- o Specific Plan Components: A discussion of each component of the Specific Plan in the following categories: Land Use, Transportation, Public Works, Community Design, Energy Conservation and Wastewater Treatment.
- o Land Use Regulations: Regulations and guidelines that will guarantee implementation of the Specific Plan.
- o Implementation Program: A discussion of the governmental processing and the proposed phasing plan.

The planning analysis found within this Specific Plan text identifies the parameters and constraints applicable to development of the 237-acre residential condominium community, with golf course and commercial facilities on the north and south sides of 16th Street (Baseline Road) between Campus Avenue to the west and Cucamonga Creek to the east in the City of Upland. The Upland Hills Country Club Specific Plan provides the opportunity to combine the Development Concept, Procedure and Regulations of numerous documents into one. This Specific Plan when adopted as an ordinance will establish the type, location, intensity and character of development that will take place. For example, the environmental hazards associated with flooding within the proposed project area make conventional solutions for residential development inappropriate when dealing with this environmental issue. Also residential and golf course design present certain design problems when creating a desirable golf course view while protecting the privacy of the surrounding homes.

The intent of Upland Hills Country Club Specific Plan is to design a residential condominium community with golf course and commercial facilities which is consistent with the spirit and intent of the Upland General Plan. This will be accomplished by:

- o Identifying the physical nature of the property which will guide the development concepts;
- o Creating an innovative residential condominium community with golf course and commercial facilities which is a balance of residential and open space uses between the project site, the golf course, commercial center and the surrounding community;
- o Creating high-quality single family attached housing priced at the market rate of the community;
- o Encouraging alternative methods of transportation and conservation of energy and natural resources through innovative urban planning and design.
- o The conference center and other associated amenities will enhance the revenue base for the City of Upland while creating commercial services necessary to balance the community.

Authority and Scope

The Specific Plan is a means of systematically implementing the General Plan by providing a method of zoning which establishes standards, guidelines and design criteria for the development regulation and maintenance of the Planned Community. It demonstrates how the plan can be implemented and what procedures will be followed in the review of each step of implementation. The adoption of the Upland Hills Country Club Specific Plan by the City of Upland is authorized by government code, Sections 65450 through 65507.

Application

The Upland Hills Country Club Specific Plan applies only to that property within the sphere of influence of the City of Upland and known as "Upland Hills Country Club". A legal description of the irregularly shaped 237 acre site is contained in the appendix.

1

**background
of existing
conditions**

BACKGROUND OF EXISTING CONDITIONS

2016 SUMMARY UPDATE

This update of the background of existing conditions in the Upland Hills Country Club Specific Plan area provides a summary update based on current 2015-2016 conditions. The drainage, water and sewer update sections below also provide a brief general summary on how proposed new Development Area E in the Specific Plan will be served. The remainder of Section 1 remains as previously approved dating back to the original Specific Plan approval in 1981 and in some cases per previous modification approvals dating between the periods of 1983-1998 (Modifications Nos. 1-12).

Specific Plan Area 2016

The Upland Hills Country Club Specific Plan area in its entirety as of 2016 consists of approximately 215 acres. The Specific Plan in 1981 when originally approved included approximately 237 acres. Subsequent modification approvals of the Specific Plan reduced the area, including the removal of an area in the northeast corner (Modification No. 1, 1983) and other subsequent adjustments. The 2016 modification has not changed the Specific Plan area from that of previous modifications. The total Specific Plan area is within the City of Upland.

The City of Upland General Plan 2015

The City of Upland adopted a new General Plan in September 2015. The 2015 General Plan Update, as indicated by the City's website, provides a comprehensive and integrated "constitution" for growth and preservation in the City, which forms the basis for all other City plans, programs, ordinances and operations. In 2005, the City underwent an extensive community visioning exercise. The resulting vision provides a framework for the development of focused goals and policies within each General Plan Element. The General Plan Update process began in 2008 and was informed by ongoing input from residents, businesses, developers and decision-makers over the course of its six-year development.¹

The 2015 General Plan Land Use Map (Figure LU-1 in the General Plan) designates the Upland Hills Country Club area as Specific Plan area No. 2, which acknowledges the previously approved Specific Plan. The Specific Plan as originally approved, continues to maintain and allow residential use at a low density of up to 3 dwellings per gross acre of project area (see page 72 of the Specific Plan). This is comparable to the City General Plan standard Residential Land Use Designation of Single-Family Low, 0-4 dwelling units per acre, the City's lowest residential density designation. With the current modification, the Upland Hills Country Club Specific Plan as proposed, with up to 612 residential dwelling units allowed, has an overall gross density of 2.85 dwelling units per acre, within the maximum density allowed by the Specific Plan.

The following are the Overarching Goals of the Land Use and Community Character and Urban Design Elements of the 2015 Upland General Plan:

Land Use Element: Upland aspires to protect our residential neighborhoods and existing business community and encourage new, balanced growth with a range of housing choices, diversified industry

¹ http://www.ci.upland.ca.us/#General_Plan_&_Map

with high-quality employment opportunities, a variety of retail and commercial businesses, and access to recreational and cultural opportunities.

Community Character and Urban Design Element: The preservation and enhancement of Upland's small town character, connectivity and walkability, historic and cultural heritage, and arts and culture in order to provide the highest quality of life and distinct sense of place for its citizens.

The Upland Hills Country Club Specific Plan as modified and approved continues to be consistent with these and other applicable goals policies contained within the Upland General Plan.

Summary of Existing Conditions 2016

Area Context 2016

Upland Hills Country Club Specific Plan now has adjacent neighboring existing built single-family residential neighborhoods on the north, south and east. To the southwest are existing Southern California Edison (SCE) facilities. North Campus Avenue is on the west side of the Specific Plan with an existing SCE easement west of this. The fully developed Colonies Specific Plan is now located further to the north, where a former gravel mining operation previously existed. A new 2016 Area Context Map is included on page 5b.

Existing Circulation 2016

The 210 Freeway to the north has been completed, including a North Campus Avenue interchange, since the Specific Plan was first approved in 1981.

Sixteenth Street through the Specific Plan area is now an 88 ft. right-of-way, four-lane secondary highway with existing traffic signals at the intersections with Upland Hills Drive and at Tanglewood Avenue.

North Campus Avenue on the west side of the Specific Plan area is an 88 ft. right-of-way, four lane secondary highway and connects to the north with an interchange at the 210 Freeway. The intersection with 16th Street is an existing traffic signal. Seventeenth Street now intersects with North Campus Drive.

The previously completed development in the Upland Hills Country Club Specific Plan takes access off of 16th Street to the north at Upland Hills Drive North, and to the south off of 16th Street from Upland Hills Drive South. Upland Hills Drive North is a 100 ft. right-of-way off of 16th Street and provides access to the existing commercial uses onsite and the entrance to the golf course clubhouse parking area. Thereafter, Upland Hills Dr. North is a gated private drive of varying widths with a minimum paved width of 30 feet. The north area also has a gated egress only onto Tanglewood Ave. on the east side. The Upland Hills CC Specific Plan area on the south side of 16th Street takes access from the gated Upland Hills Drive South entrance and transitions from a 100 ft. wide to minimum 30 ft. wide private drive. The Specific Plan area on the south side of 16th Street also has a gated full access opposite the Tanglewood Ave. intersection on 16th Street. There are existing minimum 30 ft. wide private drives throughout the developed Specific Plan area providing access to the residences. Gated emergency vehicle access only driveways exists at certain points into the Specific Plan area on North Campus Ave., 16th Street, Tanglewood Ave., and Calle Del Prado.

New Development Area “E” in the Specific Plan will take its main vehicle access off of the east side of Upland Hills Drive North, approximately 180 feet north of 16th Street, sharing a driveway entrance with the east side commercial area and the southerly entrance to the golf course clubhouse parking area.

Existing Ownership 2015

- Golf Course and Club House Facilities: Upland Development LLC
- North Upland Hills Country Club Common Areas: Upland Hills Country Club Condominium Association
- South Upland Hills Country Club Common Area: Upland Hills Estates Condominium Association
- Development Area E: Pending current proposals
- Condominium Residences: individual homeowners
- Commercial Parcels west side: Upland Hills Properties LLC
- Commercial Parcels east side: AK Properties LLC

Existing Community Facilities

Police Protection

The Upland Police Department is located at 1499 W. 13th Street.

Fire Protection

The newest Upland Fire Station No. 164 is located at 1825 North Campus Avenue, approximately half mile north on Campus Ave. from the Specific Plan area.

Parks and Recreation

The nearest City parks to the Upland Hills Country Club Specific Plan are Sierra Vista Park and 13th Street Reservoir Park. In addition to the built 18-hole golf course, the Upland Hills Country Club Specific Plan area has nine existing built community swimming pools and facilities throughout the development and four existing built community tennis courts in the southwest area of the Specific Plan.

Drainage

The existing drainage runoff within Development Area E is currently directed to Sixteenth Street via overland sheet flow or to an existing San Bernardino County Flood Control District (SBCFCD) concrete channel which traverses the existing golf course east of Development Area E.

In the developed condition, Development Area E will isolate approximately 8.5 acres of the golf course (holes #9, #10 and #18). Of this area, approximately 0.6 acres will drain to the west overland to the existing golf course parking lot. The remaining 7.9 acres will drain overland to a combination of proposed drainage swales and pipes along the northern boundary of Development Area E, and will be conveyed easterly to the existing SBCFCD concrete channel.

Storm water runoff within a small western portion of Development Area E will be collected in pipes and will be directed westerly to Upland Hills Drive North. The runoff is proposed to be discharged into the existing street through a parkway culvert. Storm water runoff within the remainder majority portion of

Area E will be collected in pipes and will be discharged into the existing SBCFCD concrete channel to the east.

Water

The Upland Hills Country Club Specific Plan area, including proposed Development Area E, receives its potable water from the City of Upland. New potable water pipelines will be installed throughout the internal street network within Development Area E. These new pipelines will connect to an existing 8-inch diameter City of Upland water main within the existing commercial area and golf course parking lot west of Development Area E and also to an existing 18-inch diameter City of Upland water main within 16th Street. The new water mains in Development Area E will be public facilities installed to City of Upland's Public Works Dept. standards. Each residential unit in Development Area E will have its own water meter.

Wastewater/Sewer

The Upland Hills Country Club Specific Plan area, including proposed Development Area E, is served by the City of Upland for sewer needs. New sewer pipelines will be installed throughout the internal street network within Development Area E. These new pipelines will connect to an existing 8-inch diameter City of Upland sewer main running north to south within the existing commercial area and golf course parking lot west of Development Area E. Each residential unit in Development Area E will be provided with a 4-inch sewer lateral.

Existing Physical (Site) Conditions 2016

The Upland Hills Country Club Specific Plan has been developed with 544 existing residential dwelling units, an 18-hole semi-public golf course, including clubhouse and parking facilities, additional recreational facilities (9 community pool areas, 4 tennis courts), private access drives, extensive landscaping, and commercial structures/uses and parking areas on the north side of 16th Street and on both sides of the Upland Hills Drive North entry. This development began in the early 1980's and was completed approximately around 1998.

UPLAND HILLS OBJECTIVES AND CONCEPTS

Planning Objectives and Concepts

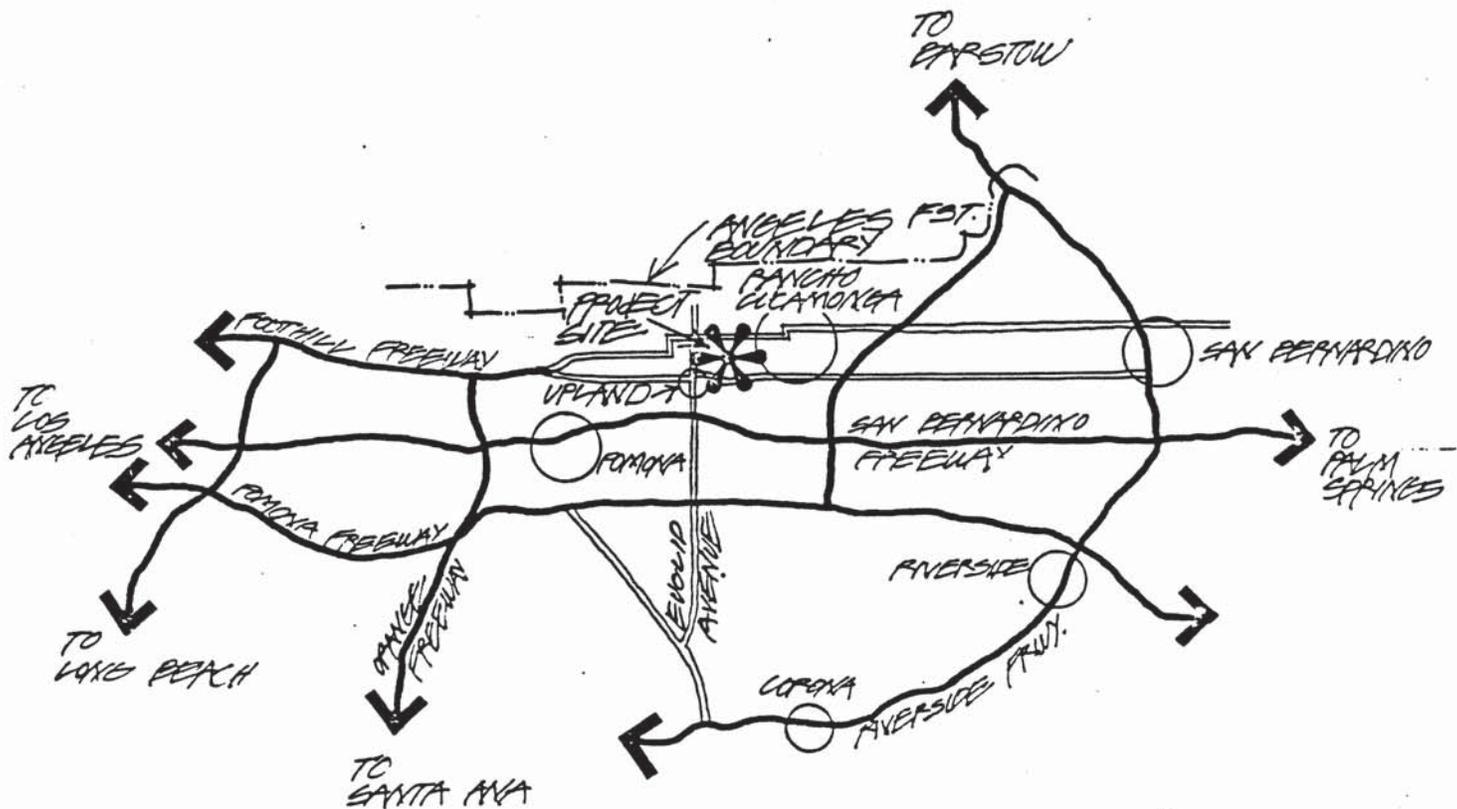
All planning objectives and planning concepts listed on pages 11 and 12 of the Upland Hills Country Club Specific Plan remain in effect.

BACKGROUND OF EXISTING CONDITIONS

SPECIFIC PLAN AREA

As shown in the regional map, the proposed project site is generally located east of the eastern portion of Los Angeles County in the western portion of San Bernardino County. More specifically, east of San Gabriel Valley, south of the Angeles National Forest bounded by the 210 Freeway to the west, the Orange County line to the south and the San Bernardino County line to the east, west of the community of Rancho Cucamonga.

The planning area consisting of 237 acres lies in the northeast portion of the City of Upland. More specifically, the proposed site is located north of 15th Street, east of Campus Avenue and the Southern California Edison facilities, south of 17th Street and west of the single-family residential area existing in the vicinity of Cucamonga Creek as shown on the vicinity map. The total site is within the City of Upland.



VICINITY MAP



The City of Upland General Plan (1979)

The City of Upland had adopted a series of comprehensive General Plan elements as mandated by the State of California. The General Plan is to provide an official guide to development within the community and is to be used by appropriate government agencies and citizens alike.

The City Council of the City of Upland adopted General Plan Amendment 70/Part I and conjunctive Draft Environmental Impact Report changing the land use designations within the planning area from heavy and light industrial to a planned unit development requiring that Land Use Element of the General Plan be amended to reflect the changes. The land use proposal was determined to be more compatible.

The General Plan of the City of Upland and the recent amendment (GPA 70-1) have served to define the goals and policies necessary to serve as the basis for formulating the policies of the Specific Plan for the Upland Hills Country Club. These policies are:

1. To Provide a healthy and desirable living environment through the application of sound space and occupancy standards, and acceptable planning and land development principles.
2. To designate appropriate areas to meet demand for diverse types of housing, with properly related amenities and facilities.
3. To provide essential community facilities that serve the residential neighborhood and are compatible with housing, such as schools and parks.
4. To guide orderly transition of older residential areas from a lower to a higher density - where increased density is desirable.
5. To improve the visual quality of individual neighborhoods through a city-wide program of beautification.

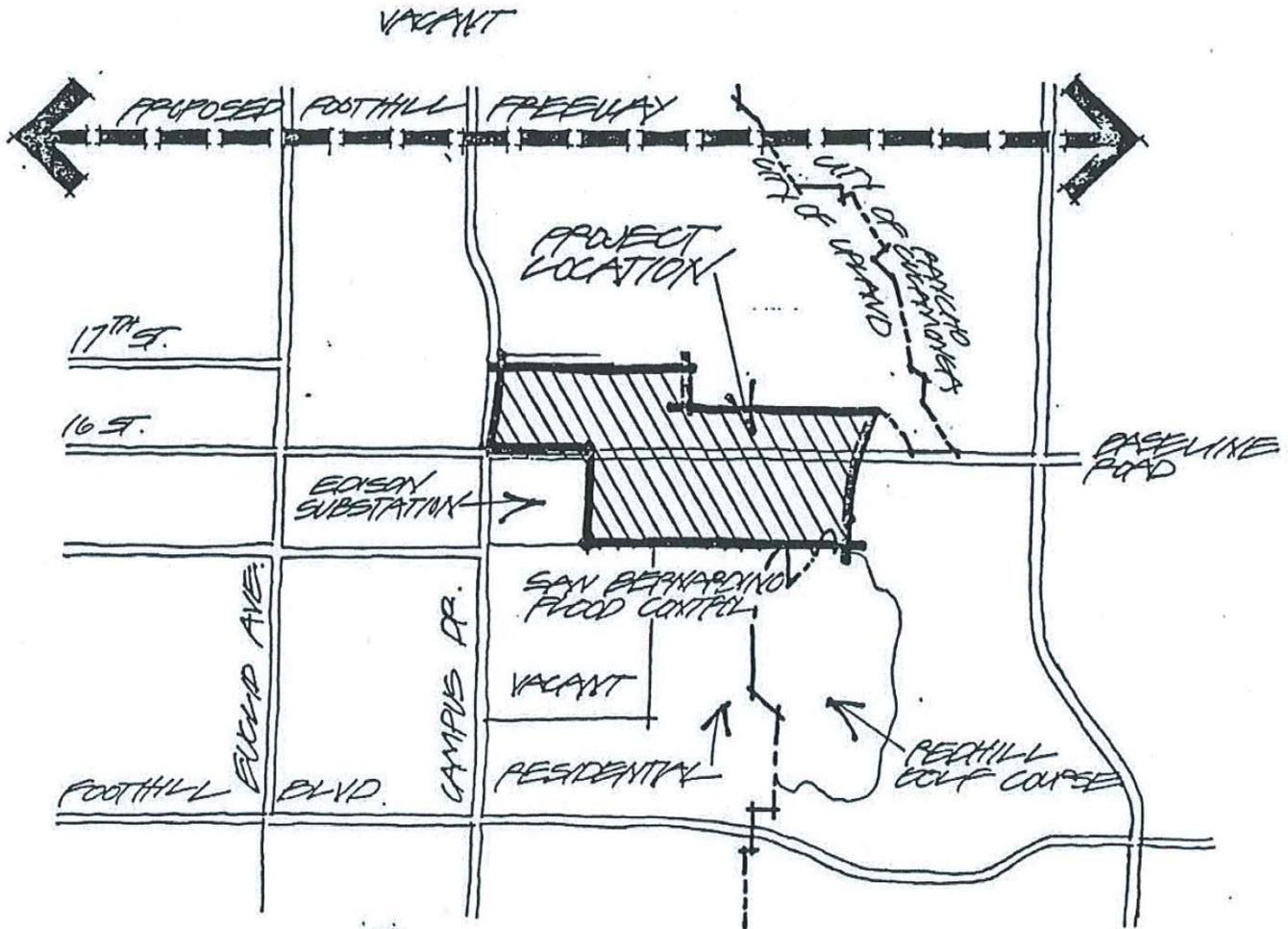
The developer is responsible for fulfilling all adopted mitigation measures as specified in Planning Commission Resolution No. 1606 except where the City Engineer and Administrative Committee have approved changes to these mitigation measures.

Summary of Existing Site Conditions

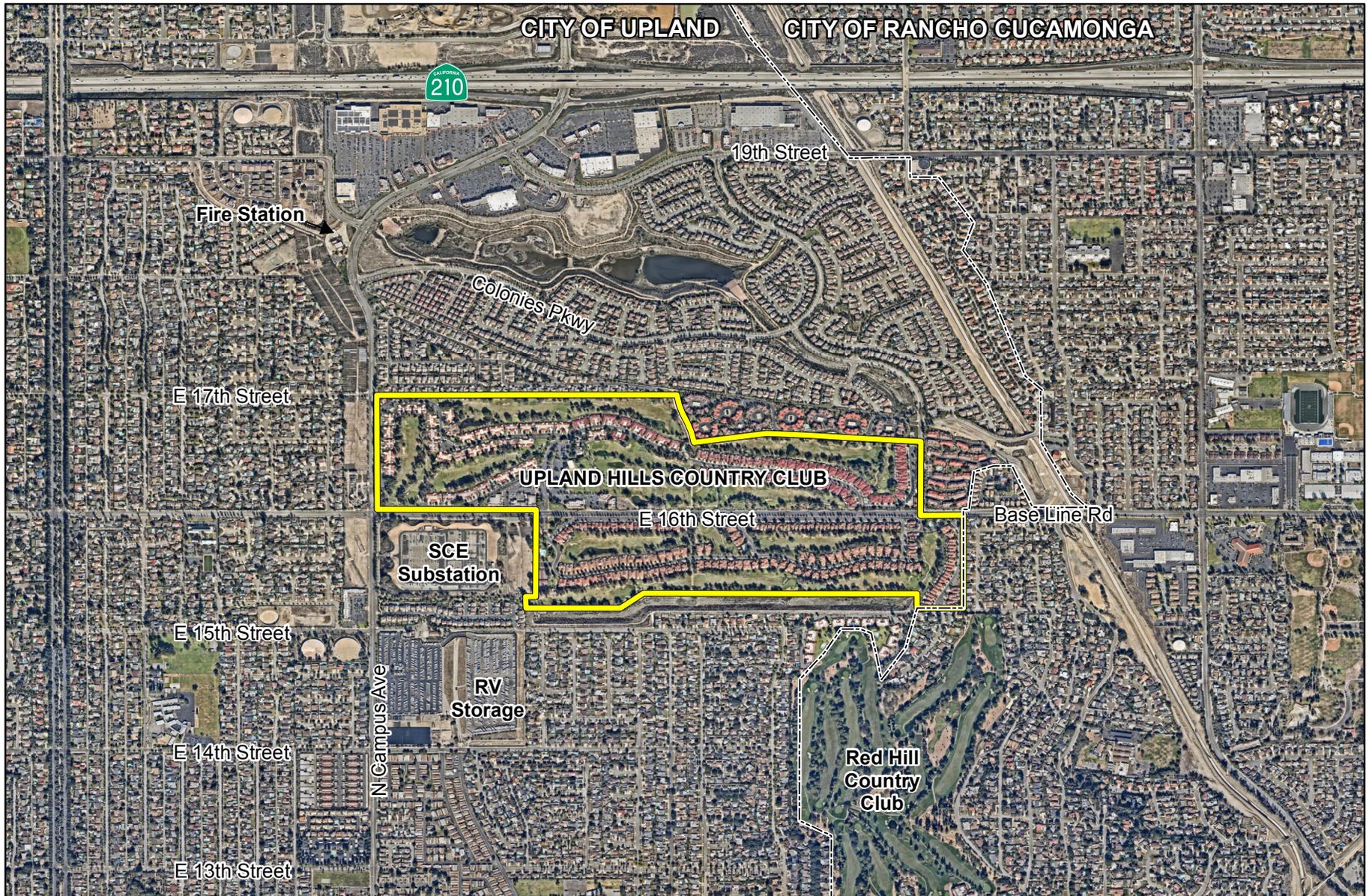
Area Context

The physical location of the proposed project site is on a gently sloping area in the northeast portion of the City of Upland. The project site is bisected by 16th Street.

Single-family residential areas are located approximately 600 feet to the south across the San Bernardino Flood Control Easement; additionally, single-family residential uses exist along the eastern project boundary. Cucamonga Creek flows north-south 600 feet east of the site. An Edison Company power sub-station is adjacent to the property south of 16th Street between the southwestern corner of the site and Campus Avenue. The Area Context Plan shows the proposed project boundaries and the surrounding land uses.



AREA CONTEXT MAP 1"=2,000' NORTH



Aerial: NearMaps - Nov 18, 2015

**UPLAND HILLS
COUNTRY CLUB**
UPLAND, CALIFORNIA



5b

 Upland Hills Country Club
Specific Plan Boundary

AREA CONTEXT MAP 2016

Existing Circulation

REGIONAL

At present, regional transportation facilities include the San Bernardino Freeway (Interstate 10) and Foothill Boulevard (U.S. Route 66) southerly of the project site, 19th Street (State Route 30) northerly of the site, and Euclid Avenue (State Route 83) which is located approximately one-half mile west of the project area.

Regional transportation facilities include the San Bernardino Freeway (Interstate 10) and Foothill Boulevard (U.S. Route 66) southerly of the project site, 19th Street (State Route 30) northerly of the site, and Euclid Avenue (State Route 83) which is located approximately one-half mile west of the project area. Carnelian Street, a major four lane north-south arterial in the City of Cucamonga, intersects 16th Street about one-quarter mile easterly of the project site and would provide additional access to the area.

The San Bernardino Freeway (Interstate 10) extends in the east-west direction approximately two miles southerly of the project site. Access from the project site to the San Bernardino Freeway is gained via 16th Street to Euclid Avenue (one-half mile westerly of the site) or via 16th Street to Carnelian Street/Vineyard Avenue (one-quarter mile easterly of the site).

Foothill Boulevard (U.S. Route 66) is a major east-west highway located one mile south of 16th Street. It is the next street southerly of 16th Street that provides a connection between Euclid Avenue and Carnelian Street in the City of Cucamonga. Foothill Boulevard carries four lanes of traffic with turn lanes provided at each major intersection.

A new east-west freeway (Route 30) has been proposed to the north of the project site. The right-of-way is located just north of and parallel to 19th Street. This freeway would extend from the termination point of the existing Route 30 Freeway (Foothill Freeway) in La Verne (west of the site) to the Route 18 Freeway in San Bernardino (east of the site). Major interchanges would be constructed at Euclid Avenue, Campus Avenue, and Carnelian Street. However, this project was not added to CALTRANS' future construction list as of December 1, 1978, although it is currently under study by the California Transportation Commission with results to be available by February 1980. This provides good local and regional access, although still only partially developed. Recent area traffic counts can be found in the Circulation Section of EIR GPA 70-1. Daily counts were obtained from CALTRANS and Car Counter Company, Inc., with manual turning movement counts provided by Linscott, Law and Greenspan, Inc.

LOCAL

Sixteenth Street is a major east-west roadway which bisects the project site. It carries two poorly paved traffic lanes from Campus Avenue easterly to the Rancho Cucamonga City limits. In Rancho Cucamonga, 16th Street (known as Baseline Road) carries four lanes of traffic with opposing directions of travel separated by a two-way left-turn lane. On-street parking is permitted through this section of 16th Street. Westerly of Campus Avenue, 16th Street carries two wide lanes of traffic and gradually expands to four lanes at Euclid Avenue, about one-half mile westerly of the site. The City of Upland Master Plan for streets and highways designates 16th Street as a secondary highway, requiring a 64 foot curb-to-curb width. This is the same cross section now used in Rancho Cucamonga and would allow five travel lanes (two lanes in each direction separated by a two-way left-turn lane with no parking provided). Sixteenth Street now has signalized intersections with Euclid Avenue and Carnelian Street. The 16th Street intersection with Campus Avenue is stop sign controlled on all four approaches.

Campus Avenue is a major north-south roadway running along the western border of the project site. It has been designated as a secondary highway on the City's Master Plan of Highways (64 foot curb-to-curb width). Campus Avenue maintains a 64 foot Master Plan cross section southerly of 16th Street for a portion of the distance to Foothill Boulevard. Northerly of 16th Street, Campus Avenue carries two travel lanes within a 40 foot curb-to-curb width. At the present time, Campus Avenue terminates northerly of 19th Street. The Campus Avenue intersection with Foothill Boulevard is signal controlled while the Campus Avenue intersection with 19th Street is stop sign controlled on the northbound and southbound approaches.

Nineteenth Street (State Route 30) extends in the east-west direction about one-half mile north of 16th Street. It carries two travel lanes easterly of Euclid Avenue in the City of Upland. Nineteenth Street is the next street northerly of 16th Street providing a connection between Euclid Avenue and Carnelian Street in Cucamonga. Seventeenth and 18th Streets, which lie between 16th and 19th, have not been constructed in the vicinity of the project site and currently terminate in residential developments easterly of Euclid Avenue.

Euclid Avenue (State Route 83) is the major north-south roadway in the City of Upland. It is located one-half mile westerly of Campus Avenue and carries two travel lanes in each direction. The north and south-bound travel lanes are separated by a 66-foot wide planted median. In effect, this facility acts as a one-way couplet, and two separate intersections are distinguishable with 16th Street for northbound and southbound travel lanes.

Existing Ownership

The Specific Plan area is held in ownership by the *Upland Hills Country Club Associates, Ltd.*

Existing Community Facilities

Services to the specific plan area will be provided by the following community facilities:

Police Protection

Police protection in the project area will be provided by the City of Upland Police Department. The Police Department is located at 177 East D Street.

Fire Protection

The proposed project will be served by the City of Upland Fire Department. The fire station that would respond on a first alarm basis is Station No. 1, located at Second Street and Arrow. The second responding fire station is Station No 2, located at 20th Street and San Antonio. A mutual aid agreement and an automatic aid agreement exist with the Foothill Fire Protection District, located at 6627 Amethyst in Rancho Cucamonga will provide additional fire protection to the east portion of Upland and the Specific Plan Area.

Parks and Recreation

Sierra Vista Park, a 16 acre recreational site located approximately one-half mile west of the Specific Plan area on 15th Street between Campus Avenue and Second Avenue, presently serves the Specific Plan area. In addition, the following areas are being considered for future park development near the project area. The City's landfill located east of Campus Avenue between 15th Street and 13th Street and an area within the Cucamonga Creek Speedway Basin located north of 16th Street adjacent to the Cucamonga Creek Channel.

Schools

The Specific Plan site would be served by two school districts, the Upland School District serving students in gradekindergarten through the eighth grade and the Chaffey Joint Union High School District serving students in grades 9 through 12 as indicated by the EIR GPA-70/Part I, Foothill Knolls Elementary School of the Upland School District and Alta Loma High School of Chaffey Joint Union High School District are currently over capacity, while Sierra Vista Elementary School, Poiner Junior High and Upland High School are very close to their capacities, *as of September 1980*

Churches

The Specific Plan area will be served by approximately 30 churches within the City of Upland.

Libraries

The Upland Public Library which is located at 450 North Euclid Avenue will serve the Specific Plan area. There are no other branch libraries within the City of Upland.

Public Offices (Planning Commission, City Council, Planning Department, etc.)

In the City of Upland, all governmental functions are located at 460 North Euclid Avenue.

Solid Waste

Solid waste generated by the proposed development will be collected by Western Refuse Hauling and serviced at the County of San Bernardino Landfill #1 at 11974 Milliken Avenue in Ontario. This landfill is located approximately 7½ miles southeast of the Specific Plan area.

Water

The site will be served by the City of Upland Water Company. The City maintains its own wells providing approximately 35 percent of the City's needs. The remaining amounts of water are purchased from San Antonio Water Company (50 percent) and the West End Consolidated Company (15 percent).

Wastewater Treatment

The Upland Hills Country Club lies within the boundaries of the Chino Basin Municipal Water District (CBMWD). The sewage generated by the proposed project would be treated by the CBMWD Regional Plant No. 1 which is located in the City of Ontario. This plant annually has a capacity of 14 million gallons per day (MGD) and is currently operating at capacity. However, this treatment plant is being expanded to a capacity of 24.5 MGD with construction to be completed in 1980.

Existing Physical Conditions

The Specific Plan area is located on a gently sloping alluvial outwash plain at the base of the San Gabriel Mountains in the northeastern portion of the City of Upland. The Site is bounded by Campus Avenue to the west, 17th Street to the north, Edison Company and San Bernardino Flood Control Area along with some residential development and 15th Street to the South, and the City of Rancho Cucamonga and the Cucamonga Creek to the east.

As of October 1985 the site is partially developed, including a fully developed golf course and the initial three phases of residential condominiums completed in the northwest portion of the site.

The site is located in a historically earthquake active area including the fault zones of the San Andreas, San Jacinto and Cucamonga-Red Hill Faults. The San Andreas and San Jacinto Faults are 14 and 11 miles northeast of the site, respectively, and the Cucamonga-Red Hill Fault is 7½ miles east of the site. Historic evidence that the Red Hill Fault is potentially active is demonstrated by a nearly mile long scarp associated with that fault system. It is inferred that the fault stretches through the site; however, no surficial evidence or recorded seismic activity has been directly related to that segment at the site. Generally, ground ruptures within the project site are considered unlikely. Possible future damage to structures as a result of ground shaking is considered more likely to occur. In addition, seismically induced liquifaction has been judged unlikely to occur due to a lack of sufficient groundwater near the surface and inadequate soils condition present on the site.

The effects of potentially strong seismic ground shaking produced by any of the potentially active fault zones should be considered during the design and construction of all structures proposed for the site along with an appropriate structural setback requirement.

Climate in and around the project area is generally characterized as moderate-arid to semi-arid. Temperatures range in winter lows from 28 to 32 degrees and summer from the low 60's to an average high of 78 degrees. The winds are generally southwesterly at 6 miles per hour in summer and winter. The site is subject to inversion conditions leading to unhealthy air quality at certain times of the year.

The site has been fully rough graded and no natural stands of vegetation remain. However, the developed golf course and residential areas are completely landscaped.

Two major water courses lie in the immediate vicinity of the Specific Plan area, Cucamonga Creek and West Cucamonga Creek which run in a north south direction and are located at the northeast corner of the site. The San Bernardino Flood Control District owns easements within the project area (refer to The Public Works Component of this report). Storm water runoff from the site flows to the 15th Street Percolation Basin. Peak runoff as a result of record storm conditions have not affected the site in the past.

UPLAND HILLS OBJECTIVES AND CONCEPTS

Planning Objectives

The principal planning objectives of the Upland Hills Specific Plan is the creation of an integrated community that responds to the goals of the Upland General Plan, the existing environmental conditions identified within the planning area, and the needs of the community of Upland of which this plan is a part in response to housing, community services, and recreational facilities. The Upland Hills Specific Plan will provide greater flexibility in the design of this planned condominium community with associated commercial and recreational facilities. The principal objective of the plan will be accomplished by providing:

- o Single-family residential housing designed to take full advantage of the visual and spatial amenities as most units will be facing golf course fairways throughout the development.
- o Commercial development that serves the needs of local residents as well as the needs of the region.
- o Golf/recreational facilities that will provide the first existing semi-public facility within the City of Upland. Other recreational facilities include swimming and tennis as well as usable open space to create an attractive environment while preserving the natural landforms.
- o Automobile circulation access which serves the residential needs without encouraging regional circulation intrusion, while encouraging alternative transportation means and energy conservation.
- o A landscape design that will enhance the visual and aesthetic character of the community as a whole.
- o Conservation and enhancement of energy resources.

Planning Concepts

By provision of the plan's concepts and design guidelines, the City and developer alike are encouraged and; in fact, assured that in time, the implementation of the Specific Plan will result in a coordinated and compatible total community. The following summarizes the basic land planning concepts for the Specific Plan area:

- o Create a totally interrelated community, called Upland Hills County Club, designed in response to the existing environmental conditions promoting a unique and innovative planned community.
- o Create a community-wide open space system through the use of a community golf course which will tie the residential community together, and provide a natural buffer for future adjacent development.
- o Conserve energy through site design, re-use of water, use of drought tolerant plant materials and preventing of wasteful exploitation, destruction, and neglect of the site's natural resources.

- o Create automobile circulation access which serves the local residents within the community without encouraging regional circulation while encouraging alternative modes of transportation.

Upland Hills Drive North, 16th Street, and Upland Hills Drive South are the primary residential circulation routes within the community. These roadways will provide unique visual images by promoting a road in a park concept as an added amenity for the residents of the community. Throughout the community there will be changing visual experiences of openness and closure. All other interior roads are designed to provide efficient traffic movement.

- o Create a regional and local automobile circulation system which provides city-wide access and movement separate from the internal residential circulation of Upland Hills Country Club.

2

specific
plan
components

Wherever the name of a specific developer is mentioned, this term shall mean "developer."

SPECIFIC PLAN COMPONENTS

DEVELOPMENT LAND USE COMPONENT

Development Concept 2016

The Upland Hills Country Club Specific Plan is a planned community development on approximately 215-acres consisting of integrated residential, commercial, open space and recreation, and public and semi-public uses (See Site Plan on page 15). Planning for the site involved properties south of 17th Street, north of 15th Street, east of Campus and west of the City of Upland boundary with the City of Rancho Cucamonga. Additionally, development has taken place both north and south of 16th Street, a secondary arterial roadway linking the City of Rancho Cucamonga to the City of Upland. The proposal for the development of Upland Hills Country Club is based upon the following concepts:

- The development of approximately 612 residential condominium units in five development schemes at a gross overall density not exceeding 3 dwelling units per acre as shown on the Development Area Plan 2016 on page 13c and described as follows:

Area A

Known as Upland Hills Country Club. Consists of 136 single story four and five plexes on Lots 2, 5 and 6 of Tract No. 11631 on the north side, of 16th Street. Buildings were constructed by Matreyek Homes.

Area B

Known as Upland Hills Country Club. Consists of 34 single story three and four plexes on a portion of Lot 8 and a portion of Lot 17 of Tract No. 11631 on the north side of 16th Street. Development was constructed by Prestige Homes, Inc.

Area C

Known as Upland Hills Country Club. Consists of 100 unit single story four and five plexes on Lots 9, 13 and 15 of Tract 11631 on the north side of 16th Street. Buildings were constructed by Prestige Homes, Inc.

Area D-1

Known as Upland Hills Estates. Consists of 88 one and two story duplexes on Lots 19 and 22 of Tract No. 11631 on the south side of 16th Street. Buildings were constructed by Prestige Homes, Inc.

Area D-2

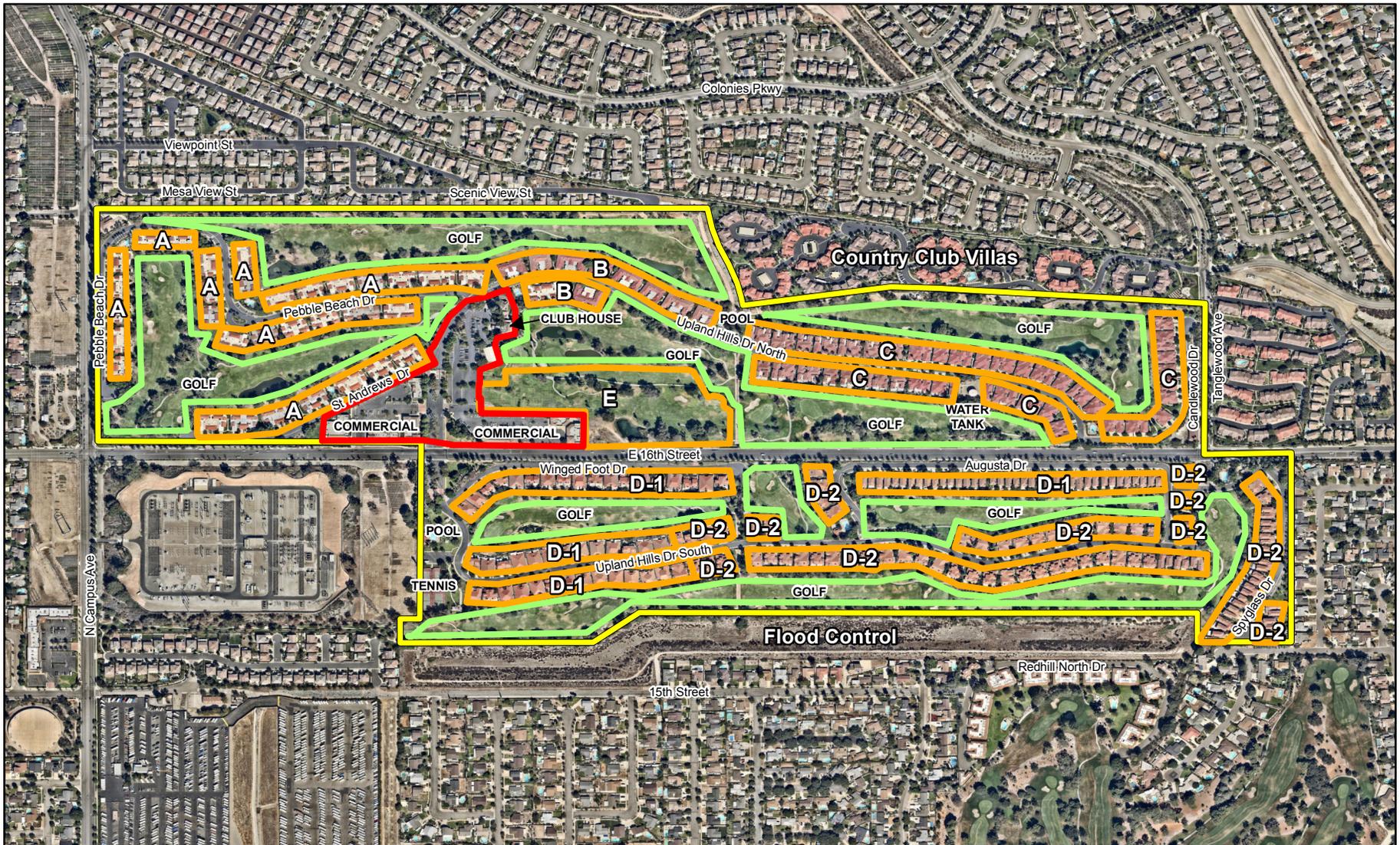
Consists of 186 units located on the south side of 16th Street including Lot 23 of Tract No. 11631, Lots 1, 5 and 6 of Tract No. 14517, and Lots 1-10 of Tract No. 15337, and are designed as one and two story duplexes. Buildings were constructed by Barratt American, Inc.

Area E

Development Area E is proposed as a new residential development area located on the north side of 16th Street, east of Upland Hills Drive North, and north and east of the existing commercial area on the east side of Upland Hills Drive North. Development Area E consists of approximately 8.5-acres, including portions of existing Parcels 3 and 4 of Parcel Map No. 15459, which will be resubdivided as a residential condominium area. This area is formerly golf course area. The new residential area will consist of 68 one and two story detached condominium units with private yards on gated private common drives.

- The development of an Old World theme Neighborhood/Visitor Commercial Center with hotel, restaurant, and a variety of shops adjacent to the proposed golf course with convenient access provided by 16th Street. Initial construction of the commercial area without a hotel has been completed.
- The development of an extensive 18-hole golf course for semi-public use that will provide a feeling of openness and enhance the visual quality of the development by creating a park-like atmosphere and buffer. Upland Hills Country Club will be privately owned and operated. The owners will operate the golf course as semi-public operation. The course will be open to the public, however, there will be a Men's/Women's Club which will represent the semi in semi-public. The Club will have preferential starting times and will require dues paid by members as do members of all private country clubs. *The golf course is complete as of October 1985.* Golf course holes #9, #10 and #18 are reconfigured to allow for the creation of residential Development Area E. The course remains a complete 18-hole course.
- *The development of recreational facilities includes approximately 9 swimming pools, and 4 tennis courts. The swimming pools are strategically located throughout the site and the tennis courts are situated in the southwestern portion of the development.* The improvement of 16th Street with the provision of bike lanes on both north and south sides and pedestrian walkways (south side only) to provide improved safety and efficient traffic flow for residents and visitors of the community.
- The development of a wastewater treatment system totally enclosed and located on the northwest corner of the site. The treatment plant will intercept off-site domestic sewage from the City of Upland main located on the northwest corner of the site. This element will not degrade the visual or environmental quality of the development because of the unit's design and associated landscape design. *The wastewater treatment plant is complete as of October 1985.*

The character of the Upland Hills Country Club planned community will build upon a park-like atmosphere. The plan will create an aesthetically pleasing visual amenity as an edge for urban development within the City of Upland. The Upland Hills Country Club will become a standard for development in the surrounding areas as development takes place in a coordinated and balanced manner. Thus, Upland Hills Country Club will become a specific land use with an overall community plan.

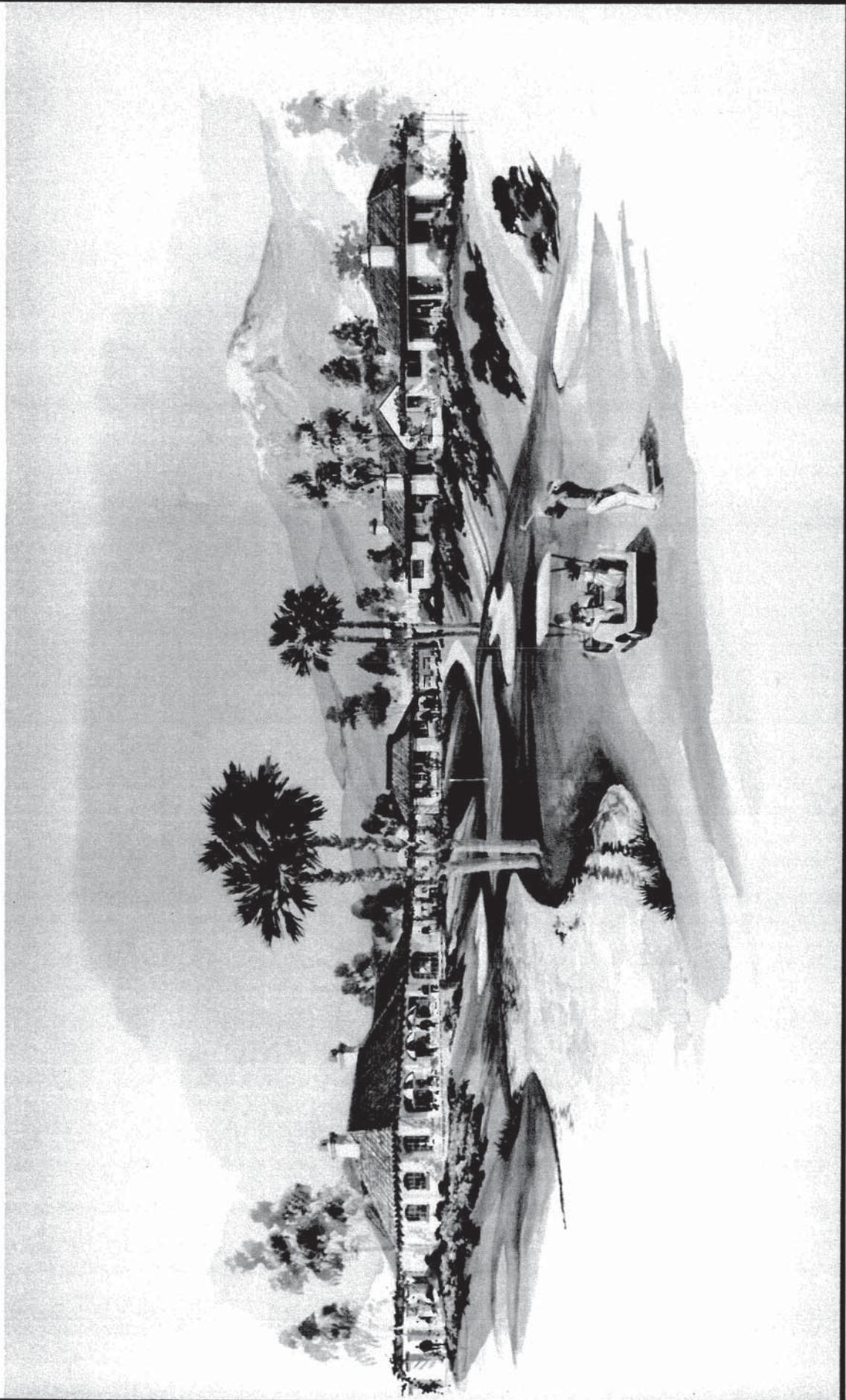


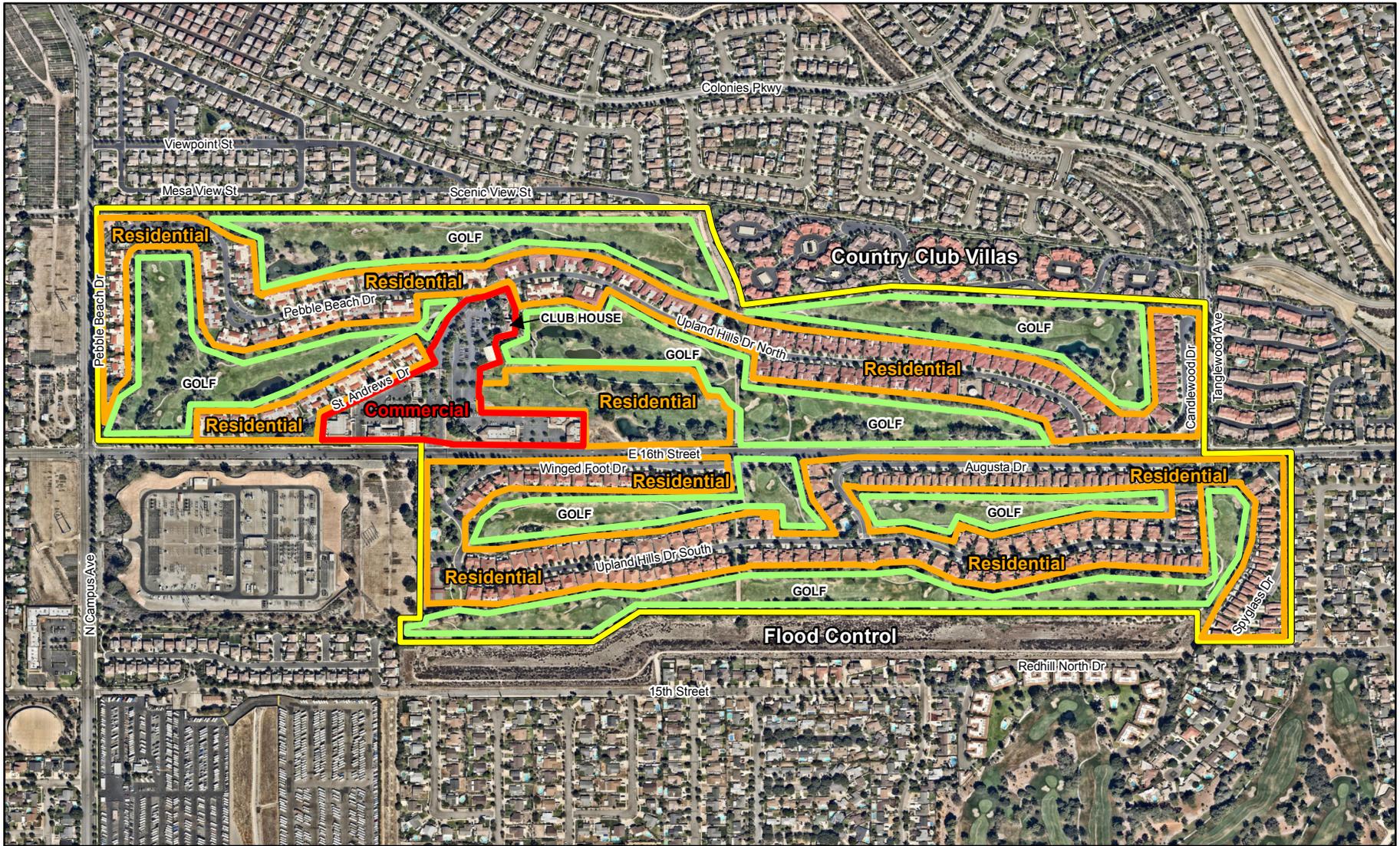
Aerial: NearMaps - Nov 18, 2015

- Upland Hills Country Club
Specific Plan Boundary
- Commercial
- A, B, C, D-1, D-2 and E:
Residential Development Areas
- Golf Course

**UPLAND HILLS
COUNTRY CLUB**
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Aerial: NearMaps - Nov 18, 2015

- Upland Hills Country Club
Specific Plan Boundary
- Residential
- Commercial
- Golf Course

**UPLAND HILLS
COUNTRY CLUB**
UPLAND, CALIFORNIA



Land Use 2016

The proposed development plan identifies a variety of land uses for the site in several major classifications: residential, commercial, open space and recreation and public and semi-public recreational uses.

Residential

The single-family attached condominiums in Development Areas A, B, C, D-1 and D-2 consist of two, three and four bedroom units. The single story units have a minimum floor area of 1450 square feet. The two-story units have a minimum floor area of 1650 square feet. The general intent is to create an interesting and diversified community.*

The single-family detached condominiums proposed in Development Area E consist of one and two-story, one to five bedroom units. The minimum floor area is approximately 1,350 square feet and could range up to approximately 2,500 square feet or larger.

Commercial

Commercial uses are generally concentrated in the central western portion of the site, on the north side of 16th Street. Specific land uses proposed include: Hotel, restaurant, fine shops, coffee shop and golf shop intended to serve the needs of local residents, visitors and regional travelers. Initial construction of the commercial area without a hotel has been completed.

Golf Course

The 18-hole golf course will involve a major portion of the site. The golf course is intended to be semi-public, providing recreation for residents and their guests as well as a cohesive element in the overall community design. The golf course will be privately owned and operated and will be open to the public. In addition, a Men's/Women's Club will be established requiring membership dues for the Country Club. Thus, the operation will be semi-public. The CC & R's will establish rules, regulations and guidelines for the maintenance and operation of the facilities (See matrix, page 84). *Golf course fully complete as of Oct. 1985 revision*

Recreational

Swimming pools will be located throughout the planned community, tennis courts located in the southwestern portion of the site and the general openness of the community design will promote active as well as passive recreation for residents and visitors to the community. The upkeep, maintenance and improvement of the recreational facilities is separate from the golf course and commercial facilities and will be the responsibility of the Homeowner's Association, an agreement which is to be established in the CC & R's.

GRADING ANALYSIS

The existing terrain slopes uniformly from north to south at approximately 3.5% grade. There is an existing flood control ditch running from north to south approximately at the center of the site which serves as a connecting channel from debris basins on the north to a water conservation basin on the south.

The site *is fully rough graded as of Oct. 1985.*

The flood control channel shall remain in its present location. All *finish* grading shall be performed under the direction of a registered civil engineer in accordance with a grading plan designed by a registered civil engineer.

The Precise Development Plan indicates the location and dimensions of the subsurface accessway which will be used for intra-golf course circulation for both electric golf carts and pedestrian movement. Generally, the subsurface accessway will be a multiplate arch with security lighting and concrete bottom and located approximately 150 feet east of the San Bernardino Flood Control right-of-way beneath 16th Street (See Circulation Component). *Accessway complete as of Oct. 1985*

The living units shall be generally elevated above the proposed golf course. Along east-west fairways the living units on the north shall be from 5' to 10' above the golf course and the units on the south shall be from 1' to 2' above. Along north-south fairways the living units shall be from 1' to 10' above the golf course.

The golf course shall be contour graded as a rolling surface with mounds, broad swales and a number of ponds. The east-west fairways shall slope generally from north to south at approximately 5.0% grade and the north-south fairways shall generally fit the existing terrain and slope at approximately 3.5%. The ponds shall be created by grading and shall be up to 20' in depth. Deeper ponds reduce maintenance by inhibiting the growth of algae and development of mosquito producing areas that may reduce the overall quality of life within Upland Hills. The algae produces an odor as well and inhibits the natural eutrophication process which cleans the ponds. No major flows will flow into ponds and run-off will occur as per grading plan approved by City Engineer. *Golf Course complete as of Oct. 1985.*

The * proposed commercial development* shall be designed as multi-level structures and shall be graded accordingly to better fit the existing terrain and to avoid unnecessarily high banks.

The existing water conservation basin on the south portion of the site shall be excavated in accordance with an agreement with the San Bernardino County Flood Control District. This basin excavation and lowering of the bluff at the south-east corner of the site shall serve as the major excavation areas south of 16th Street. The major excavation north of 16th Street shall be generally the most northerly fairways. The purpose of confining the major cuts to specific areas is to avoid loss of top soil on the majority of the golf course and to expand the water conservation basin. *Excavation complete as of Oct. 1985.*

The total earth to be moved will be approximately 466,000 cubic yards. All grading shall be in accordance with the City of Upland Grading Ordinance, City of Upland Grading Standards and the Preliminary Soils Report prepared by Richard Mills Associates dated May 5, 1980. A thorough geologic and soils report shall be prepared for the entire project and will involve comprehensive investigations including drilling test holes, sampling of representative soils, laboratory tests and an engineering evaluation of the site by a licensed soils engineer and/or engineering geologist. In addition, a licensed soils engineer shall review, inspect and approve the final grading plans and be present during grading operations. Field tests will be performed by a licensed engineer during grading operations to assist the contractor in obtaining the required degree of compaction and the proper moisture content.

The presence of cobbles and boulders primarily in areas graded in cut in which non-uniform support of foundations may occur, shall require minimum reinforcement of footings. Grading shall be scheduled during the dry season to avoid erosion and shall be landscaped as soon as possible after grading. Also, normal wetting procedures shall be followed during the site grading operations to reduce dust emissions.

The seismic design parameters recommended by the soils engineer to be followed during site construction include:

- o A maximum probable 50-year earthquake of 7.1 magnitude originating along the San Andreas Fault 14 miles to the northeast of the site would probably produce the highest ground acceleration of 0.32g on-site, with an equivalent repeatable ground acceleration of 0.21g. The effects of potentially strong seismic ground motion produced by such an event should be considered during the design and construction of any structures proposed for the subject site. The predominant period of acceleration expected for such an event would be 0.35 seconds and the duration of strong ground shaking would be 24 seconds.
- o It should be noted that the aforementioned seismic parameters are in excess of those required for the underlying segment of the Red Hill Fault (ground acceleration of 0.25g, equivalent repeatable ground acceleration 0.16g, predominant period of acceleration 0.35 seconds, and duration of strong ground shaking 18 seconds).

TRANSPORTATION COMPONENT

Circulation System

As discussed in the summary of existing conditions (existing circulation section), access to the Specific Plan area is accomplished by regional and local transportation systems. The Upland Hills Country Club proposed circulation system (See Exhibit 12) will be discussed in the following manner: Roads and major collectors, street sections, entry treatment, traffic volumes, commercial use, and alternative transportation methods including public transportation.

Roads and Major Collectors

Interior roads proposed for the development of Upland Hills Country Club shall be fully improved to a width of 30 feet curb to curb in accordance with the Upland City Standards to provide safe and efficient automobile connections to 16th Street. They will be restricted to one lane of traffic in both directions and enhanced by regular street tree planting and curving alignment (See Proposed Circulation).

All private streets shall have a minimum roadway width of 30 feet and there shall be a 4-foot minimum PCC sidewalk on at least one side of each private street. Rolled curb sections shall not be used. All private streets shall include street lighting -- the specific plan of the lighting to be approved by the City Engineer.

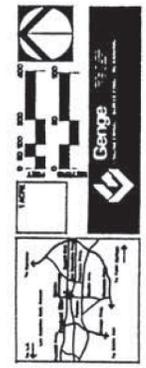
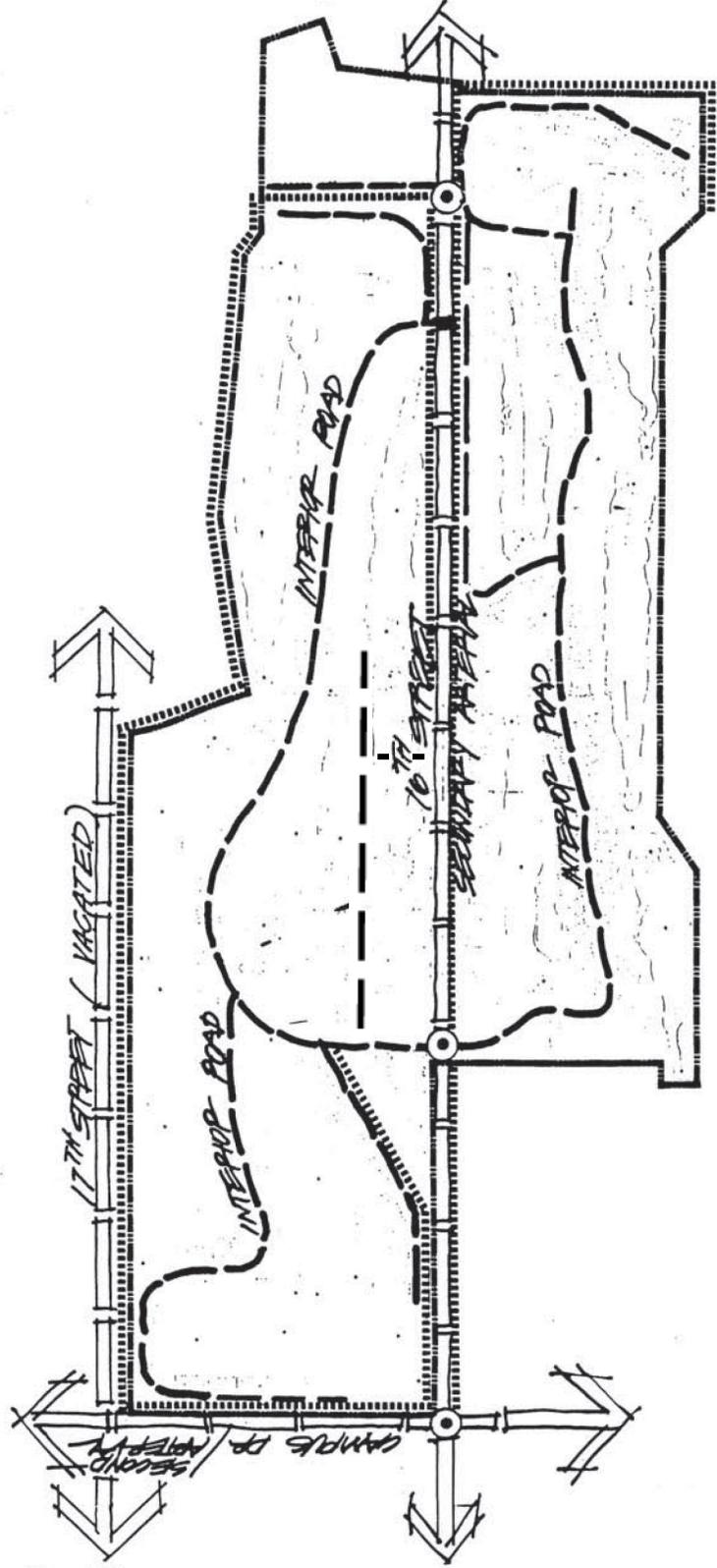
The interior roads will feed the major collectors, 16th Street and Campus Avenue. The City of Upland will be reconstructing 16th Street to a pavement width of 64 feet along with the installation of a culvert system where appropriate. In addition, the developer's obligation will consist of: the construction of a curb and gutter system on both sides, the construction of a sidewalk on the south side only, bike lanes on both sides, the construction of a screen wall on both sides totalling an ultimate dedicated right-of-way width of 88 feet with parkway landscaping concepts and an access road to the City water tank facility. More specifically, the thickness and design of the roadway section shall be as required by the City Engineer. Curb face heights shall be 10 inches. The sidewalk width shall be 5 feet, except where it may abut the curb line, in which case it shall be a minimum of 6 feet. Sidewalks shall be installed along the entire width of the development on the south side of 16th Street. There shall be also a sidewalk along the north side of 16th Street from the main access drive through the development westerly to Campus Avenue. Parkway trees, as approved by the City Engineer and the Architectural Commission, shall be installed along both sides of 16th Street. The screening walls along the north and south side of 16th Street should be located outside of the right-of-way unless otherwise approved by the City Engineer. Standard street lighting, as approved by the City Engineer, shall be installed along the entire length of 16th Street. All roadway markings and signing for vehicular, bicycle, and pedestrian traffic shall be installed as required by the City Traffic Engineer. At the intersection of 16th Street and Campus Avenue, all necessary underground conduits, traffic signal loops, and traffic signal facility foundations shall be installed for the full intersection at this time.

Campus Avenue will serve as a major collector of traffic flows from 16th Street. Presently, Campus Avenue has a 40 foot pavement width and is anticipated to remain in place. Additional improvements will be necessary as part of the Specific Plan area and will involve the construction of a curb, gutter and sidewalk system on the east side of Campus Avenue, a 44 foot half street dedicated right-of-way for the east half of Campus Avenue along the entire width of the development as indicated on the

PROPOSED CIRCULATION

Legend

- Secondary Access
- Interior Road
- Sound Wall
- Signalized Intersection



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COUNTRY CLUB**
UPLAND, CALIFORNIA

tentative tract map. A pavement width of 32 feet half street width east of the center line, and shall include overlay of the existing pavement to the center line in addition to the necessary grading and paving to provide the ultimate roadway width, construction of a screen wall on the east side and parkway landscaping. The thickness and design of the roadway section shall be as required by the City Engineer. The curb face height shall be 10 inches. The sidewalk width shall be 5 feet, except where it may abut the curb line, in which case it shall be a minimum of 6 feet. Parkway trees, as approved by the City Engineer and/or City Design Review* shall be installed along the east side of Campus Avenue. The screening walls along the east side of Campus Avenue should be located outside of the right-of-way unless otherwise approved by the City Engineer. Standard street lighting, as approved by the City Engineer, shall be installed along the entire length of Campus Avenue. All roadway markings and signing for vehicular, bicycle, and pedestrian traffic shall be installed as required by the City Traffic Engineer.

Signalization has been proposed for Campus Avenue/16th Street intersection, and Upland Hills Drive North - Upland Hills Drive South/16th Street intersection, and the *Tanglewood Avenue* /16th Street intersection. Signalization, striping and signing for traffic control at these points will be provided by the developer and maintained by the City of Upland. Roadway improvements adjacent to the project site will be paid for by the applicant and/or with Federal Grant funds.

Entry Treatment

Access to Upland Hills Country Club will be controlled by a card-key control gate and/or manned security guarded gate system and will be limited to the proposed entrance roads. These entrance roads will consist of two lanes of traffic in both directions separated by a landscaped island which will replace the overall park-like theme (See Road Standards - Cross Sections).

Traffic Volumes

Traffic generated by the proposed project has been estimated at approximately 11,670 trip ends per day (trips having both origin and destinations within the project site). As indicated by circulation section (EIR GPA 70-1), measures will be taken to provide an efficient transportation system that promotes health and safety. Some measures previously indicated include: widening existing roadways, providing bikeways, curbs and gutters and sidewalks.

Commercial Use

The Upland Hills Country Club Specific Plan has identified the type and location of the commercial elements of the development. Commercial development has been designed as an integral element of the development plan. They are well located near 16th Street with good access and ample parking facilities and designed to serve the needs of the residents, visitors and regional travelers. The public street right-of-way for the main access to the development shall be fully improved as required by the City Engineer.

Public Transportation/Alternatives Transportation Methods

The planning objective of Upland Hills Country Club is to develop a transportation system which provides adequate automobile circulation, while encouraging alternative means of obtaining access to the community. Consequently, an emphasis will be placed on the use of public transportation. The County of San Bernardino Upland Omnitrans System along 16th Street and Campus Avenue will assume adequate connections to City services and facilities. The City of Upland shall make the final determination concerning the bus stop location within the Upland Hills Country Club. However, a bus stop location has been proposed near the commercial facilities where access to the development by Omnitrans will be safe and efficient via signalized Upland Hill Drive North (proposed major access point along 16th Street). The bus stop location will be proposed at the hotel in the parking area to facilitate convenience of location for the residents and ease of pickup and delivery of riders.

Golf Course

The Upland Hills Country Club Development is proposing an 18-hole semi-public golf course as the primary development amenity which establishes the theme of a park-like atmosphere. The golf course will create a unique setting of ponds, landscaping of varying species of ornamental and native California varieties and will provide a challenging experience for golfers. The golf course architect has designed the golf course so that stray golf balls will not create a potential hazard to traffic along 16th Street; therefore, screening will not be required. The Upland Hills Country Club will be privately owned and operated as a semi-public facility open to the public and members of the Country Club. The golf course will also include a golf/pro-shop.

Access to the golf course will be provided by the proposed Upland Hills Drive North which will also serve the access needs of the proposed commercial areas such as the fine shops, hotel, restaurant/coffeeshop and convention center. The golf course as well as the entire commercial area will be separated from the residential development by way of a card-key control gate and/or a manned security guarded gate system to maintain security within the residential community. * Golf course complete as of Oct. 1985*

PUBLIC WORKS COMPONENT

Storm Drainage/Flood Control

The Specific Plan area will be developed so that it is adequately protected from flooding. This will be accomplished by the following measures:

- o Acceptance of upstream flows.
- o Protection from a major flow outbreak.
- o Internal site drainage.
- o Downstream discharge.

For each of these conditions there are several possible solutions and each of these solutions will be examined to develop a plan which adequately satisfies the needs of the community and conforms to criteria established by the City of Upland and County of San Bernardino. Potential solutions to these problems are discussed more fully in the Draft Environmental Impact Report (EIR GPA 70-1) associated with this Specific Plan.

Storm Drains and Drainage

The completion of the U.S. Army Corps of Engineers Cucamonga Creek Project makes the existing San Bernardino County Flood Control levee to the north of the project an effective barrier to runoff from north of the levee and limits the storm flow reaching the north tract boundary to the runoff from the area south of the levee.

A dike or other effective water barrier will be constructed along the north project boundary from Campus Avenue to the West Cucamonga Bypass (see proposed noise and drainage barriers). Runoff from the area south of the Flood Control levee and west of the by-pass channel will flow westerly along the north side of the water barrier to the new public street. The water barrier will be subject to a hydrology study and approved by the City Engineer.

The Flood Control District has an easement along the alignment shown in the existing and proposed drainage as "West Cucamonga Bypass". At the present time the channel exists as a partially excavated earth channel with an existing reinforced concrete crossing at Baseline Road.

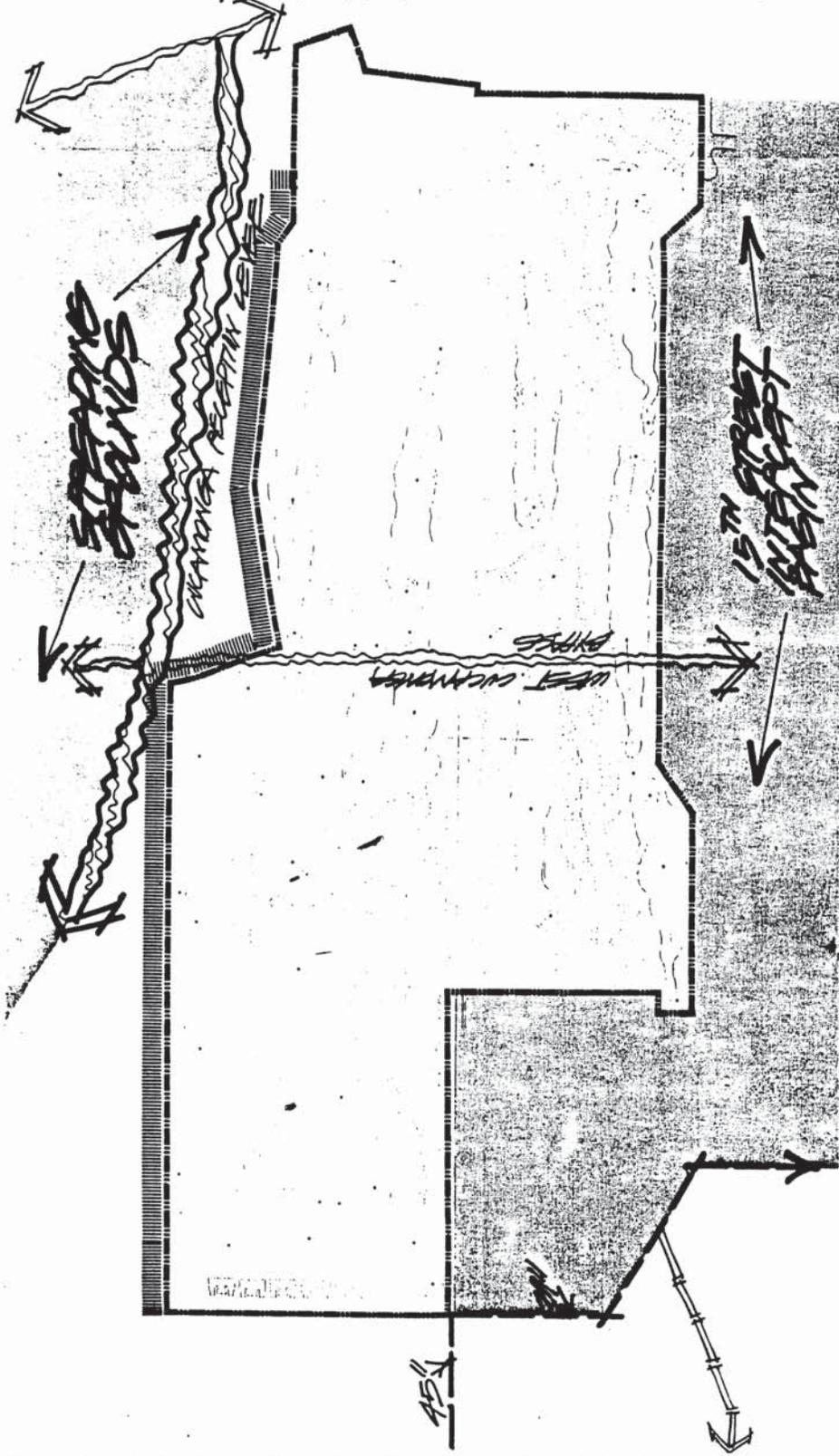
San Bernardino County Flood Control District Comprehensive Storm Drain Plan No. 1. requires no planned storm drain in or immediately adjacent to the project. The West Cucamonga Bypass is shown on the Comprehensive Plan as an existing open channel. Its primary function is to transfer water from the Cucamonga Spreading Grounds, north of the levee, to the 15th Street water conservation basins located along the south project boundary. The volume of flow can be controlled at the levee. A portion of the on-site runoff will be discharged to this channel where practical. The Bypass channel will be improved throughout the project. A graded channel with suitable erosion control facilities intergrated with the overall landscaping plan, rather than a hardened channel, will be utilized wherever practical to the maximum extent permitted by the Flood Control District. The Baseline culverts will be extended underground to south of the onsite cul-de-sac south of Baseline. The San Bernardino County Flood Control District channel that runs from the north project boundary to the Flood Control parcel immediately south of the project shall be fully improved with a lined channel and culverts, subject to the approval of the City Engineer and the San Bernardino County Flood Control District.

EXISTING & PROPOSED
DRAINAGE

Legend



PROPOSED STORM DRAIN
 EXISTING ENCLOSED,
 EXISTING OPEN CHANNEL
 PROPOSED BASIN



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 COUNTRY CLUB**
 UPLAND, CALIFORNIA

Within the area of the development the overall drainage will not be substantially altered. Existing Baseline Road culverts will be utilized and extended where necessary. Additional culverts will be installed if necessary at locations approved by the City Engineer. Minor on-site storm drains will be installed at locations where surface drainage would cross on-site streets and will in some cases be extended through golf course or other open space areas where needed to implement development plans.

Some of the on-site drainage from north of Baseline will discharge to Baseline Road and flow within the roadway section to catchbasins to be installed at the several Baseline Road Culvert or storm drain crossings. Some flow will also be conveyed in surface swales to the West Cucamonga Bypass.

All runoff from the site will ultimately flow to the 15th Street water conservation basins, primarily in the Bypass Channel and other lesser drains with runoff from some portions of the southerly fairway areas sheeting directly into the basins.

The remainder parcel south of the development, which is to be continued as a Flood Control spreading basin, may require access from the north across Lot 29, depending on operational arrangements with the County Flood Control District and with the City and Water Master. If this is found to be necessary, then such access would become mandatory.

Sewer System

The City of Upland owns and maintains the public sanitary sewer system which will serve this project. The sanitary drainage system for the project will be a combination public and private system to serve the different aspects of the development.

The public system shall consist of main line sewers and manholes designed in accordance with the City of Upland Standards and Specifications. These public mains shall be connected to existing public sewer on 15th Street along the southerly project boundary and routed through the site to provide public points of connection for the various residential and commercial centers within the project.

All on-site sewer mains (serving four or more units) shall be designed to the standards of the City Engineer and will require construction permits from and inspections by the Engineering Department. In addition, all on site sewers will be of public standard "8" V.C.P. and approved by the City Engineer.

It is anticipated that the City

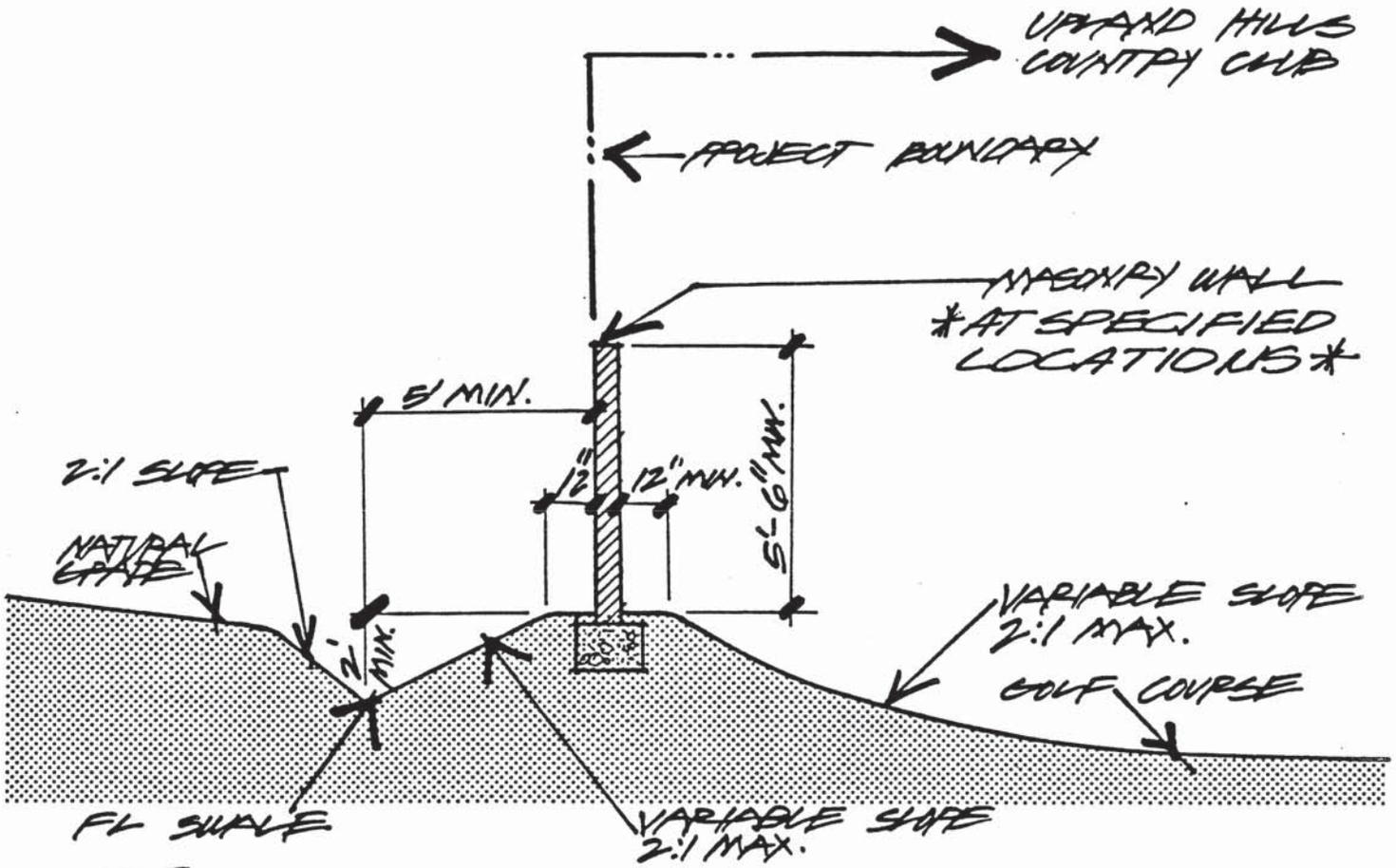
will maintain approximately 25% and *the Homeowners Association* will maintain 75% of these facilities.

Wastewater Treatment Plant

Sewage generated by this project is estimated at approximately 170,000 gallons per day and will be treated by the Chino Basin Municipal Water District at their Regional water treatment plant. Additionally, the construction of sewage treatment facility has been proposed on site at the northwest corner of the site. This plant will intercept and treat 200,000 gallons per day of off-site sewage from the City of Upland main located at the northwest corner in Campus Avenue. The following will be required in order to operate the sewage treatment plant:

- o The treatment plant will be operated by the City of Upland and the Chino Basin Municipal Water District.
- o Application for a discharge permit to the California Regional Santa Ana Region Water Quality Control Board (SARWQCB)
- o The wastewater treatment plant will comply with waste discharge requirements of the SARWQCB.

On-site treatment plant complete as of Oct. 1985



NOTE:
FINAL HEIGHT OF WALL & BARRIER
SHALL BE IN ACCORDANCE WITH THE
RECOMMENDATIONS OF THE ACOUSTICAL
ENGINEER.

TYPICAL SECTION OF PROPOSED
DRAINAGE BARRIER

Based upon irrigation requirements, adjustments will be made to meet the SARWQCB standards approved by SARWQCB for golf course irrigation. The desalinization process and a blending of potable and reclaimed water will reduce nitrate impacts on groundwater. The golf course will require an estimated 450 acre feet of water per year, with the treatment plant providing 224 acre feet of the required water. The use of reclaimed water will reduce the amount of domestic water necessary for irrigating the golf course. During the rainy season when irrigation requirements are reduced, the treatment facility will have a 20-day storage capacity.

Irrigation areas (areas irrigated by reclaimed water) will be kept a minimum horizontal distance of 100 feet from each of the wells located north of the project site. In addition, the perimeter of the irrigated area will be enclosed by a berm 6 to 8 feet high so that surface application of irrigation water and storm runoff will flow away from the local water wells thus preventing contamination. Also a thorough site specific study analyzing the present soils and groundwater condition will be prepared.

The proposed treatment plant has been designed to be totally enclosed with processed air swept through the system flowing sequentially through two aerobic trickle filters and from there to a potassium permanganate oxidation air scrubber for final deodorization and disinfection. therefore, pathogens and odors will not be transmitted from the plant. In addition, the exterior of the treatment plant will be compatible with the exterior of the residential structures. The reclamation facility site shall include adequate storage facilities, to be approved by the City Engineer, that will provide for the necessary retention of sewage or effluent under all modes of operation, including emergency circumstances, that may be perceived. The water reclamation site shall be screened on all sides with walls and/or landscaping to the satisfaction of the City Engineer *and/or City Design Review.* The effluent line locations and hydraulics from the reclamation site to the golf course and to the Flood Control Basin shall in accordance with requirements to be reviewed and approved by the City Engineer.

Water System

The City of Upland is the purveyor for water for domestic use and fire protection. The property will be served from pressure zone III from an existing 18" transmission main in 16th Street. All water mains, fire hydrants and meters will be owned, operated and maintained by the City of Upland as a public water system.

Water mains shall be installed in all the interior private roads plus extensions into the commercial and the hotel conference - restaurant complex. The system shall be designed and sized in accordance with the City of Upland Standards and Specifications, and to the fire flow requirements of the City of Upland Fire Department.

The fire protection system shall be from fire hydrants of the type and spacing required by the City of Upland Fire Department, plus such additional fire laterals which may be necessary to feed buildings with sprinklers in commercial and hotel areas. The plan shall be submitted to the Fire Department for review prior to approval.

Water meters of the size and type required by the City of Upland Water Department shall be installed for each living unit. Additional meters shall be as specified by the City of Upland Water Department for each particular use. Other meters for potable water may be necessary in various locations throughout the project for use by the golf course and/or the landscaping needs. If these other meters are needed they will conform to the City of Upland Water Department Specifications.

The source of water for golf course irrigation will be supplied by the City of Upland (a blend of 50% potable water and 50% Reclaimed water).

Resource Conservation

Several elements within the Upland Hills Country Club community plan may provide opportunities for the conservation of resources. The following is a brief discussion of how this will be accomplished.

- o **Water Conservation**

Water will be conserved wherever possible by utilizing low maintenance, drought tolerant plant materials. Many native California plants fall into this category and provide an opportunity to create a strong identity when allowed to establish in a natural state, thus requiring little or no irrigation during the dryer months and reducing future maintenance costs. In addition, where irrigation must take place, drip irrigation systems should be encouraged. Reclaimed water can supplement irrigation requirements as well.

Domestic water conservation methods can greatly reduce domestic useage by utilizing the following methods:

- o Small reserve tank toilets as per Section 17921.3 of the Health and Safety Code which prohibits the construction of new structures employing tank-type water closets that use more than 3½ gallons of water per flush (approved by the California Department of Housing and Community Development).
- o Low-volume shower heads and lavatory faucets in accordance with the regulations of the California Energy Commission Standards for new residential and non-residential buildings.
- o Pipe insulation where steam and steam-condensate return piping and recirculating hot-water piping in attics, garages, crawl spaces or unheated spaces other than between floors or in interior walls shall be insulated to provide maximum loss of more than 50 BTU/Hr. per linear foot for larger sizes (California Energy Commission regulations for New Residential Buildings).
- o Supply line pressure where water pressure is greater than 50 pounds per square inch (psi), water presure should be reduced to 50 psi or less by means of a pressure reducing valve.
- o Flush valve operated water closets regulating three gallons per flush.
- o Drinking fountains equipped with self-closing valves.
- o Pipe insulation of all hot water lines in dwelling to provide hot water faster with less water waste and to prevent hot water pipes from heating cold water pipes.

Water quality will be maintained in the proposed pond system with the golf course by restricting the use of herbicides in the ponds to control algae, stocking lakes with game fish in accordance with the Department of Fish and Game to control insects, and making efforts to keep leaves and other dead plant materials out of pond to prevent another source of nutrients. The treatment of the lake bottoms shall be subject to review and approval by the City Engineer and the Regional Water Quality control

Board. The level and depth of the lake and the means of controlling the level and depth shall be subject to review and approval by the City's Administrative Committee and the City Engineer.

Trash compactors could be installed in each condominium to reduce the volume of refuse, thus reducing the number of refuse pick-ups which would in turn reduce the amount of noise exposed to the community and to reduce total vehicular emission levels.

- o Public Transportation

The Upland Hills Country Club Specific Plan recognizes the energy savings possible from the use of public transportation. The community design provides an opportunity for local transportation collection within the site or along the major arterials. The Upland Hills Country Club development proposes a bus stop located at the hotel in the commercial area which will provide access to the City of Upland and surrounding cities within the region. Final determination will be made by the City of Upland in agreement with Omnitrans.

- o Energy Conservation

The California Energy Commission under the authority of the California Administrative Code Title 24, Part 6, Article 1, has established energy conservation standards for new residential buildings. The regulations specify energy saving design for walls, ceilings and floor installations as well as heating and cooling equipment and systems, gas cooking services, conservation standards and the use of nondepleting energy sources, such as solar energy or wind power. The energy conservation standards are enforced by local building officials through the building permit process. The proposed project residential limits will be designed to meet the residential energy standards discussed as follows:

- o The maximum heat transfer through the walls and ceiling of new residential structures is specified and all insulation material used will be certified as to thermal performance. Restrictions regarding the amount and type of glazing (glass) surface to conserve energy loss are also contained in the regulations. Special glazing oriented within $22\frac{1}{2}^{\circ}$ of true north is encouraged for winter solar energy as a source of interior heat. Cooled buildings with glazing areas exceeding a specified basic glazing area are required to use tinted glazing for a portion of the total glazing surface.
- o The use of electric resistance heating is discouraged under the regulations. Unless used as a supplemental source of heat, a cost comparison must be performed which proves the life cycle cost of electric resistance heating system is lower in cost than available alternative systems (heat pumps, gas furnace, solar collector). In addition, the maximum heating capacity of central gas furnaces are set under the regulations according to building design criteria.

- o Air conditioning equipment, heat pumps, gas-fired space heating, water heating, and cooking systems must be certified as being in accordance with the State Appliance Efficiency Regulations prior to installation. Showerheads, lavatory faucets and sink faucets must also be certified as in compliance with the Appliance Efficiency Regulations and are required to be equipped with flow control devices to limit total flow to a maximum of three gallons per minute.
- o The control of air infiltration is also included in the regulations. all swinging doors and windows exposed to outside areas or unconditioned spaces such as garages, are to be fully weatherstripped to limit infiltration. In addition, all exhaust fans to the outside are to be provided with dampers to prevent air leakage.

Electrical Underground Utilities

- o Electrical protection for underground utilities shall be conditioned in the Conditional Use Permit to meet any determined needs created by possible electrical fault conditions.

COMMUNITY DESIGN COMPONENT

Basic Design Concept Overview

A continuous open space element tying the community of Upland Hills Country Club together will create a park-like atmosphere and a feeling of openness. For the residents of Upland Hills, it will be a regular part of their lives and a significant ingredient of the community image.

The following section will discuss methods aimed at creating the kind of park-like atmosphere that is proposed by this plan. This will be accomplished by establishing the following basic design considerations:

- o Basic Grading Concept
- o Landscape Standards
- o Drought Tolerant Plants
- o Landscape Concept
- o Plant Matrix
- o Typical Edge Conditions
- o Typical Intersection Conditions
- o Road Standards
- o Circulation Reference Sections

Basic Grading Concept

Reshaping of the natural terrain to permit access and construction shall be kept to a minimum. Where possible, improvements should be designed to conform to the terrain as opposed to the reverse. Where grading is necessary, the following guidelines shall apply:

- o The angle of the graded slope shall be gradually adjusted to the angle of the natural terrain.
 - o The graded form shall reflect the natural rounded terrain.
- a. The overall shape, height and grade of any cut or fill slope shall be developed in concert with the existing natural contours and scale of the natural terrain of the site.
 - b. The toe and crest of all cut and fill slopes in excess of five (5) feet vertical height, but not greater than ten (10) feet vertical height, shall be rounded with vertical curves.

- c. Where cut and fill slopes are created, detailed landscape and irrigation plans shall be submitted for review and approval. The plans will be reviewed for type and density of ground cover, seed mix, hydromulch mix, plant sizes and irrigation systems.
- d. Maintenance and upkeep of all slope planting and irrigation systems shall be the responsibility of the developer until such time as these operations become the responsibility of other parties. The CC & R's will establish the rules, regulations and guidelines pertaining to maintenance and upkeep responsibilities of the commercial, residential and light industrial areas.
- e. Natural drainage courses shall be maintained wherever possible. A certified grading plan shall be prepared for the entire development. In addition to generally meeting all City standard grading requirements, the following additional requirements shall be included as a part of the total grading plan:
 - 1. A concept of grading one side of 16th Street and then the other to avoid hauling earthen work across the street shall be adhered to as an absolute requirement of site grading.
 - 2. All site grading shall be performed under the direct supervision of the engineering firm that has certified the grading plan.
 - 3. The site grading plan shall include provisions for dust control which shall be subject to review and approval by the City Engineer.
 - 4. Details of the embankment for bottom screening purposes and for drainage control along the northern boundary of the site shall be subject to the review and approval by the City Engineer.

LANDSCAPE STANDARDS

Introduction

The Landscape Standards section contains general and specific criteria for the landscaped zones of Upland Hills Country Club. This includes road edges, entries, recreation areas, a commercial node, residential areas, riparian corridors, and buffers.

This section is designed to provide the guidance necessary to create continuity in the landscape design and tie the community together with a definite theme or image that can be easily promoted in a visual and conceptual sense. The landscape design will utilize aesthetically pleasing barriers such as landscaped mounds and garden walls to screen parking lots and storage areas within the development from the public right-of-ways.

Landscape design will encourage energy conservation through appropriate placement and choice of the species necessary to allow passive solar energy systems to operate effectively. The use of native Southern California plant species will reduce consumption of water on extensive landscaped areas. Species will be used in relation to the scale of the environment as described in the landscape concept section of this report. Also, the landscape features will be designed in a manner which does not obscure sensitive areas of buildings from patrolling police vehicles.

The following discussion has been divided into two basic parts: The Landscape Concept including a plant matrix and general criteria for zones to be landscaped along with typical landscape edge condition Co-sections and Intersection Plans, and a Drought Tolerant Plant discussion for use within the landscape design with the Upland Hills Country Club project.

Landscape Concept/Standards

The Landscape Concept Plan is a key element in the Specific Plan. It is the landscape planting that sets the overall park-like image of the community.

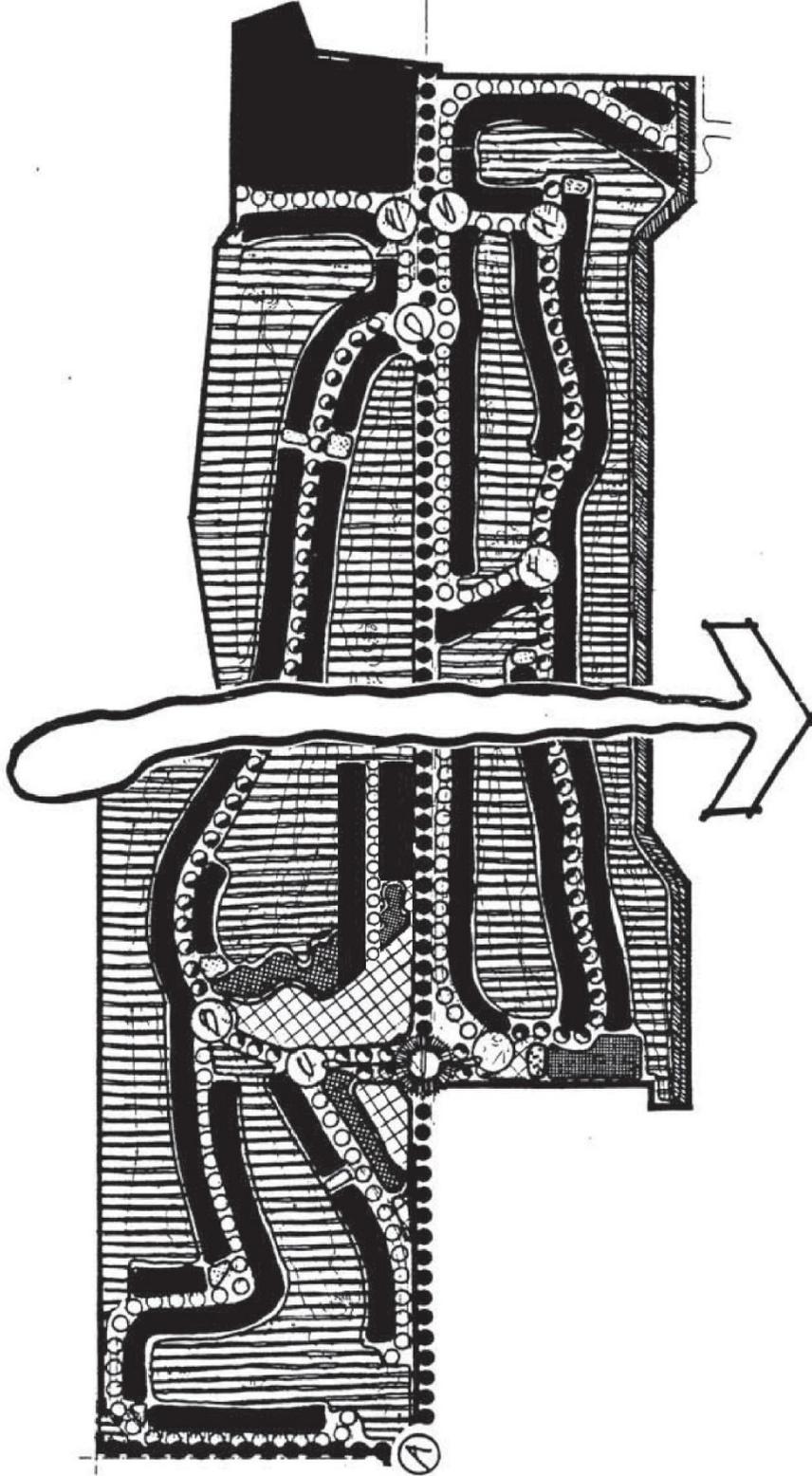
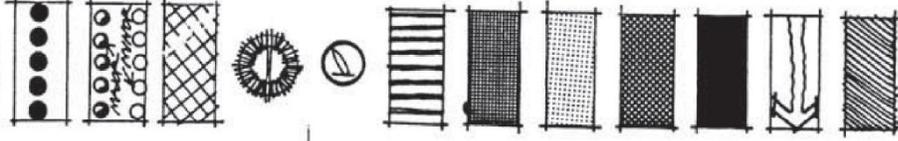
The Landscape Concept Plan shows the locations of different planting zones for the entire planning area. The zones of the plan are:

- o REGIONAL CIRCULATION
A meandering arrangement behind the screen wall of large and medium spreading trees closely spaced, on the north side of 16th Street only (See details on "AA"). The monotony of the screen wall is relieved by shrubs, wood insets, and periodic splayed vines, on both sides of 16th Street.
- o CAMPUS AVENUE
A tight meandering arrangement behind the screen wall of large and medium spreading trees. The monotony of the screen wall is relieved by shrubs and periodic splayed vines.
- o MAJOR COMMUNITY STREETSCAPE -
Upland Hills Drive North and South
Linear planting of large, spreading trees uniformly spaced with wide spreading canopies closing over the streets. The linear planting of the trees is broken by an off-set planting of alternate tree species, one which becomes the "community tree".
- o MINOR COMMUNITY STREETSCAPES -
Pebble Beach Drive, St. Andrews Drive, Sawgrass Drive, Winged Foot Drive, Cypress Point Drive, Spyglass Drive
Linear planting of large, spreading trees uniformly spaced with wide spreading canopies closing over the streets. Each drive will have a unique species. The linear planting of trees is broken by an off-set planting of the community trees.
- o PARKING GROVES
Informal planting throughout the parking lot of medium sized, spreading trees with an umbrella character and shrubs adding relief to the pavement.
- o MAJOR COMMUNITY ENTRIES W/ISLANDS
Park-like landscape theme utilizing tall trees with a vertical habit, forming a continuous line, and closely spaced. Use bollards to reinforce entry. The residential entries are to be controlled by card-key control gates and/or manned security guarded gate system. The intersections are to remain "open".

Project areas across 16th Street are tied together by the minor entries north and south of 16th Street being similar and continuous in design.
- o EMERGENCY ACCESS -
16th Street North and South
Community streetscape terminals in a gated access. Access will only be open for emergencies.

LANDSCAPE CONCEPT PLAN

Legend



**UPLAND HILLS
COUNTRY CLUB**
UPLAND, CALIFORNIA

- GOLF COURSE - MAJOR GREENBELT
Informal massing of large lawn trees with compatible shrubs and grasses, which enhances the golf course landforms and supports the objectives of openness and enclosure. Plant materials include: a. a deciduous and coniferous tree mix; b. shrubs providing seasonal color, animal habitat (especially birds) and/or screening; c. a use of ornamental grasses and wildflowers where applicable.
- LAKE EDGE
Plant materials are typical of water related species.
- TENNIS FACILITIES
Filtered edge planting - no shade interference.
- SWIMMING FACILITIES
Special planting of palms.
- COMMUNITY/VISITOR COMMERCIAL CENTERS
Ornamental and shade planting which creates an Old World theme and enhances the architectural style.
- RESIDENTIAL AREA
Planting to provide individual character to the unit and the building. Allow for lines of sight on to the golf course fairways.
- RIPARIAN CORRIDOR - SECONDARY GREENBELT CORRIDOR
Grass lined swale with natural character. The plant material is typical of a river/stream related landscape. Small shrub and stone treatment on the swale sides is subject to approval by the San Bernardino County Flood Control District.
- RIPARIAN EDGES OF SITE - EXCAVATED WATER CONSERVATION BASIN BUFFER
Naturalistic tree-shrub-forbe planting in a meandering pattern. Species are typical of a river/stream related landscape.

- o WASTEWATER TREATMENT PLANT
Visual screening with trees and shrubs incorporated with appropriate entrances to the facility to separate residential/public facility relationships.

- o WATER TANK AND PUMPING STATION
The Upland City water pumping station will be densely screened by trees and shrubs reducing its visual impact upon the character of the proposed community.

There shall be a minimum 6-foot high fence or wall along the full lengths of the easterly and southerly boundaries of Lot 28; the nature of the fencing and/or wall and any landscaping treatment required in connection therewith shall be subject to review and approval by *City Design Review and/or* the City Engineer.

Drought Tolerant Plants

The use of drought tolerant plant materials shall be optimized in Upland Hills Country Club. Their use will accomplish several important community planning goals: first, they will enrich the existing landscape character, which is dominated by drought resistant plants; second, their use will conserve water and energy; third, they are economical to maintain; and fourth, in the proper place, they can serve the image forming needs of the community as well as plants that may require more water.

The plan does recognize that drought tolerant plants will need some irrigation, especially in the first two growing seasons. Once the plants are established, irrigation will be required about once a month during the dry months. This irrigation practice will promote deep root growth and a better tolerance for the hot, dry summer months. Irrigation methods will vary depending on the particular situation and the specific plants chosen. In some places, bubbler heads will provide the once-a-month deep watering. Other situations may be better adapted to some form of drip irrigation. Still others may require temporary watering for the first two years only, and no additional irrigation after that. Specific conditions will require specific solutions that can be implemented as the choice plant material and specific planting location is known.

The use of drought tolerant plant material also makes the use of ornamental native plants possible. Many natives are sensitive to over watering and could not be used unless watering is restricted during the dry months. Plants such as Toyon (Hetermoles arbutifolia), Hollyleaf Cherry (Prunus ilicifolia) or Sugarbush (Rhus ovata) will thrive in dry conditions. These and other native trees and shrubs will be used in an informal manner to create a pleasant naturalized landscape.

Non-native ornamentals that are drought tolerant can also be used. Acacia (Acacia spp.), Olive (Olea europea), Eucalyptus (Eucalyptus spp.) and Pines (Pinus spp.) are some of the plants that are suggested for use within Upland Hills. Palms (Washingtonia spp., Phoenix spp.) also contribute to the existing landscape character, are drought resistant, and will be used in Upland Hills Country Club.

RIPARIAN PLANT LIST

The following are some riparian trees, shrubs, and herbaceous/groundcovers which are suitable to this project:

Trees

<u>Botanical Name</u>	<u>Common Name</u>
1. Acer species	Maple
2. Alnus rhombifolia	White Alder
3. Betula species	Birch
4. Platamus racemosa	California Sycamore
5. Populus alba	White Poplar
6. Populus canadensis	Carolina Poplar
7. Populus fremontii	Western Cottonwood
8. Salix species	Willows
9. Umbellularia californica	California Laurel

Shrubs

<u>Botanical Name</u>	<u>Common Name</u>
1. Aceregundo "Californica"	California Box Elder
2. Bambusa species	Bamboo
3. Clethra arborea	Lily-of-the-Valley Tree
4. Cocculus laurifolius	Laurel-Leaf Snail Seed
5. Cornus species	Dogwood
6. Cortaderia selloana	Pampas Grass
7. Coreynocarpus laevigata	New Zealand Laurel
8. Eucalyptus erythrocorys	Red-cap Gum
9. Gaultheria shallop	Sallal
10. Magnolia species	Magnolia

- | | | |
|-----|------------------|------------|
| 11. | Myoporum laetum | |
| 12. | Nyssa sylvatica | Sour Gum |
| 13. | Salix species | Willow |
| 14. | Sambucus species | Elderberry |

Herbaceous/Groundcovers

<u>Botanical Name</u>	<u>Common Name</u>
1. Equisetum hymale	Horsetail
2. Festuca rubra	Creeping Red Fescue
3. Iris douglasiana	Pacific Coast Iris
4. Lysimochia nummularia	Moneywort
5. Mimulus species	Monkey Flower
6. Myosotis species	Forget-me-not
7. Sisyrinchium californicum	Yellow-eyed Grass
8. Vinca species	Periwinkle

DROUGHT TOLERANT PLANT MATRIX

Introduction

The list of drought tolerant plants is enormous and most likely growing every month. From an acceptance of this fact, we have prepared a partial list of drought tolerant plants, selecting those that we feel are most suitable to Southern California and its established ecology, economy and social norms. Gathering of data from numerous resources, we have compiled a matrix of plants most drought tolerant, most aesthetically pleasing, most ecologically hardy and most available. Once again, we feel that this list is not complete but is, at this point in time, a valuable resource.

The purpose of this matrix is to act as a planting design tool which provides a list of plants and their basic characteristics. The matrix, however, is not the only tool, but merely an index from which further investigations of each plant species can stem. Hopefully, the matrix will help influence the planting designer towards a broader and more varied planting palette.

Matrix Terms

Following are some explanations concerning the categories the matrix has been divided into indicating their adaptability.

Drought

The drought category is divided into three levels of tolerance: Fair, good and excellent. Fair designates a need for summer water to survive when conditions are extreme. Good designates a need for a small amount of summer water for the plant to look its best but it may not need any. Excellent designates a plant which will grow well with absolutely no summer water.

Temperature

Tender indicates plants which are damaged or killed by frost or temperatures below 30° F. Half-hardy indicates plants that will survive temperatures down to about 20° F. Below 20° F. plants may be damaged or killed. Hardy indicates plants that will survive freezing temperatures or frost with no damage.

Soil

This indicates the best soil type for each plant. Some of the plants will grow in any soil type, but others need a particular type of soil to do their best. Sand indicates a sandy or gravelly type of soil that drains water quickly.

Loam indicates a rich, organic type soil which drains fairly easily and maintains a fair amount of moisture. Clay indicates a soil type which has mostly clay and retains moisture for the longest period of time.

SOUTHERN CALIFORNIA DROUGHT
TOLERANT PLANTS

LEGEND

Exp.	=	Exposure to Sunlight
N-E	=	North to East Exposure
S-W	=	South to West Exposure
Hgt.	=	Height of Plant in feet for shrubs and trees in inches for ground covers
GR.RT.	=	Rate of Growth
Temp.	=	Temperature
Drht.	=	Drought Tolerance Ability

INLAND SO. CALIF. DROUGHT TOLERANT PLANTS

PLANT NAME		EXP	TYPE	HGT	GRRT.					TEMP			DRHT
					SLOW	MODERATE	RAPID	SAND	LOAM	CLAY	TENDER	HALF HARDY	
BOTANICAL	COMMON	N.E.	S.W.	EVERGREEN	DECIDUOUS	CONIFER	10.20	30.40	50+				
TREES													
<i>Acacia baileyana</i>	Bailey Acacia												EXCELLENT
<i>Acacia cultriformis</i>	Knife Acacia												GOOD
<i>Acacia pendula</i>	Weeping Acacia												FAIR
<i>Aesculus californica</i>	California Buckeye												HARDY
<i>Agonis flexuosa</i>	Peppermint Tree												HALF HARDY
<i>Arbutus unedo</i>	Strawberry Tree												TENDER
<i>Brachychiton acerifolium</i>	Flame Tree												CLAY
<i>Brachychiton populneum</i>	Bottle Tree												LOAM
<i>Cedrus deodora</i>	Deodar Cedar												SAND
<i>Eucalyptus maculata</i>	Spotted Gum												RAPID
<i>Eucalyptus nicholii</i>	Nichol's Willow-leaved												MODERATE
<i>Eucalyptus polyanthemos</i>	Silver Dollar Gum												SLOW
<i>Eucalyptus sideroxyylon</i>	Red Ironbark												50+
<i>Eucalyptus viminalis</i>	Manna Gum												30.40
<i>Geijera parviflora</i>	Australian Willow												10.20
<i>Heteromeles arbutifolia</i>	Toyon												CONIFER
<i>Juglans hindsii</i>	California Black Walnut												DECIDUOUS
<i>Koelruetaria paniculata</i>	Golden Rain Tree												EVERGREEN

DEVELOPMENT AREA "E" CONCEPT PLANT SCHEDULE

The following is the suggested plant palette for use for the developer to provide landscaping in proposed Development Area E and to be maintained by the homeowners association for common areas:

Evergreen Street Tree

Ulmus Parvifolia 'True Green' / True Green Elm

Flowering Street Tree

Chionanthus Retusus 'China Snow' / Chinese Fringe Tree

Cluster Entry Accent Tree

Cassia Leptaphylla / Calm Medallion Tree

Flowering Entry Accent

Jacaranda Mimosifolia / Jacaranda

Courtyard Theme Tree

Pistacia Chinensis 'Red Push' / Red Push Chinese Pistache

Prosopis Glandulosa 'Thornless Azt' / Thornless Honey Mesquite

Robinia X Ambigua 'Idahoensis' / Idaho Locust

X Chitalpa Tashkentensis 'Pink Dawn' / Pink Dawn Chitalpa

Vertical Evergreen Buffer Tree

Tristania Conferta / Brisbane Box

Multi Trunked Flowering Tree

Arbutus Unedo 'Elfin King' / Dwarf Strawberry Tree

Vertical Accent Tree

Juniperus Chinensis 'Spartan' / Spartan Juniper

Flowering Deciduous Tree

Lagerstroemia X 'Tuscarora' / Red Crape Myrtle Multi-Trunk

Accent Palm Tree

Washingtonia Filifera / California Fan Palm

Washingtonia Robusta / Mexican Fan Palm

Existing Palm Tree

Existing Washingtonia Robusta To Remain Or To Be Relocated

Washingtonia Robusta / Mexican Fan Palm

Background Shrubs

Cistus X Purpureus / Orchid Rockrose

Dodonaea Viscosa 'Purpurea' / Purple Leafed Hopseed Bush

Feijo Sellowiana / Pineapple Guava

Grevilea X 'Noellii' / Grevillea

Leptospermum Scoparium 'Gaiety Girl' / Gaiety Girl Tea Tree

Pyracantha X 'Apache' / Pyracantha

Westringia Fruticosa 'Wynabbie Gem' / Wynabbie Gem Coast Rosemary

Low Shrubs And Groundcovers

Agave Attenuata 'Ray Of Light' / Variegated Fox Tail Agave
Aloe Striata / Coral Aloe
Callistemon Viminalis 'Little John' / Dwarf Weeping Bottlebrush
Cotoneaster Dammeri 'Lowfast' / Lowfast Bearberry Cotoneaster
Dianella Tasmanica 'Variegata' / Flax Lily
Lantana X 'New Gold' / New Gold Lantana
Muhlenbergia Capillaris / Pink Muhly
Myoporum Parvifolium / Trailing Myoporum
Nassella Tenuissima / Texas Needle Grass
Rosmarinus Officinalis 'Chef's Choice' / Rosemary

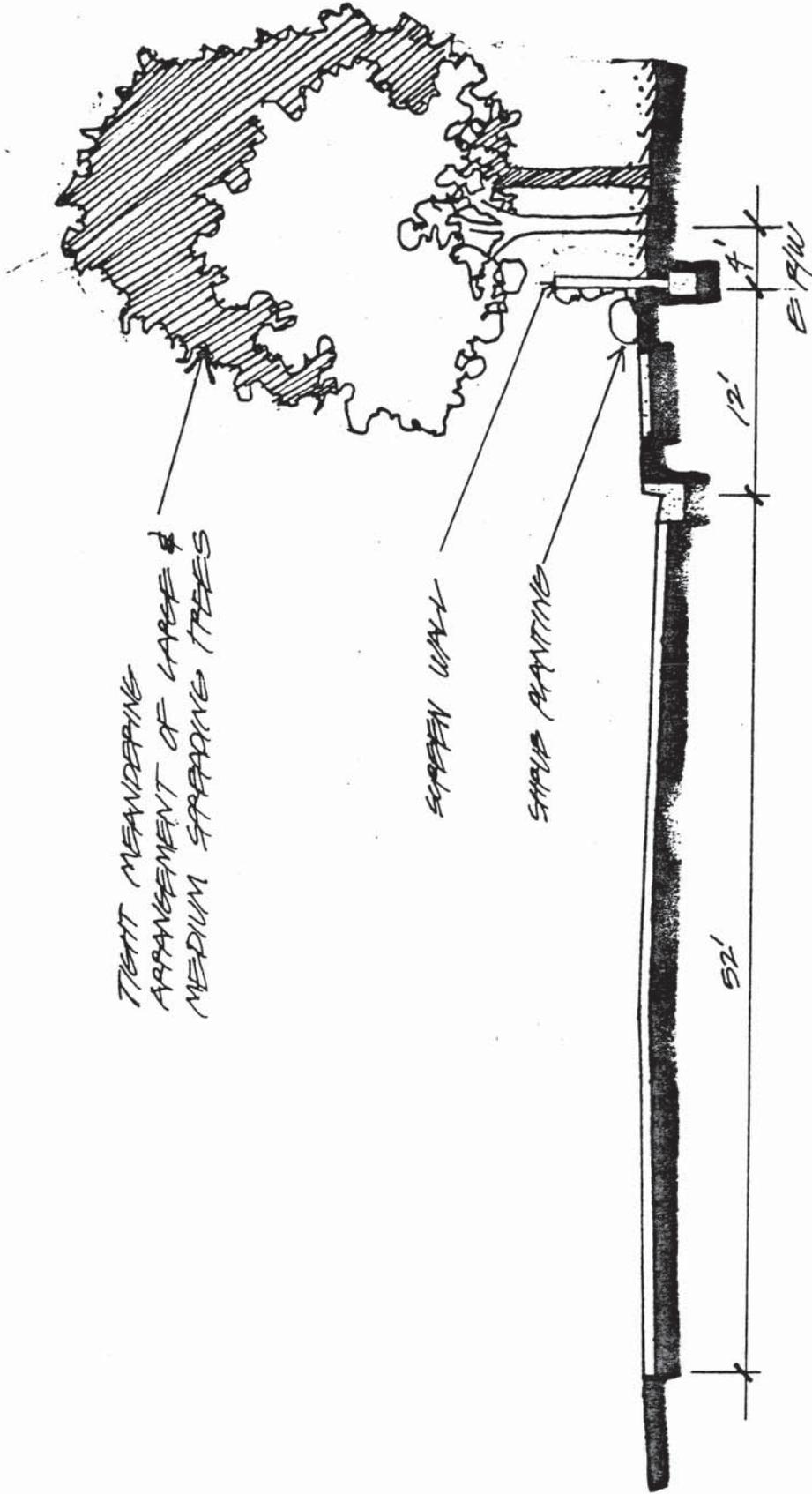
Shrubs And Groundcovers

Agave Attenuata 'Ray Of Light' / Variegated Fox Tail Agave
Aloe Striata / Coral Aloe
Callistemon Viminalis 'Little John' / Dwarf Weeping Bottlebrush
Cistus X Purpureus / Orchid Rockrose
Cotoneaster Dammeri 'Lowfast' / Lowfast Bearberry Cotoneaster
Dianella Tasmanica 'Variegata' / Flax Lily
Dodonaea Viscosa 'Purpurea' / Purple Leafed Hopseed Bush
Feijo Sellowiana / Pineapple Guava
Grevilea X 'Noellii' / Grevillea
Lantana X 'New Gold' / New Gold Lantana
Leptospermum Scoparium 'Gaiety Girl' / Gaiety Girl Tea Tree
Muhlenbergia Capillaris / Pink Muhly
Myoporum Parvifolium / Trailing Myoporum
Nassella Tenuissima / Texas Needle Grass
Pyracantha X 'Apache' / Pyracantha
Rosmarinus Officinalis 'Chef's Choice' / Rosemary
Westringia Fruticosa / Coast Rosemary

Drought Tolerant Turf

Cynodon Dactylon 'Santa Ana' / Santa Ana Bermuda

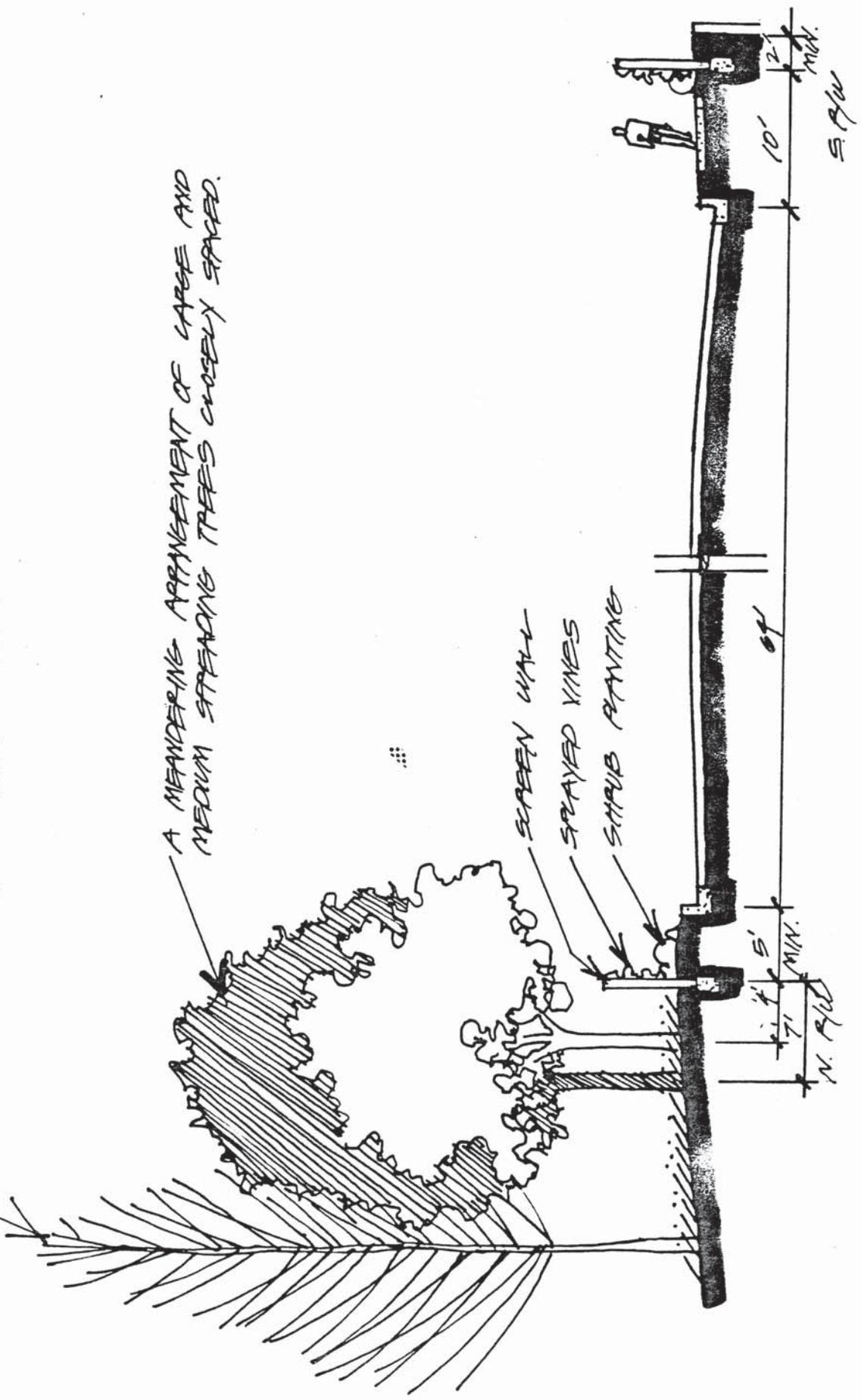
TYPICAL EDGE CONDITIONS



CAMPUS AVENUE STREETScape - SECTION "AA"

TALL TREES OF VERTICAL HEIGHT CAN BE SUPPORTED FROM THE SOFT COURSE LANDSCAPE. THESE TREES CAN BECOME PART OF THE MEANDERING ARRANGEMENT OF THE 16TH STREET STREETSCAPE.

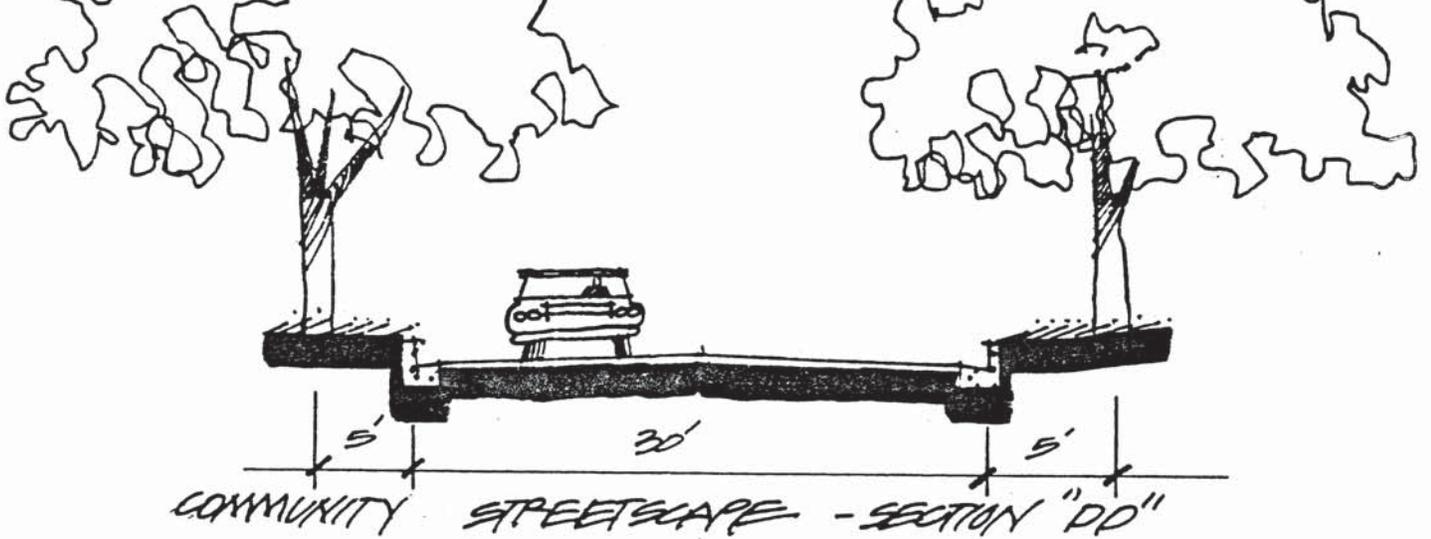
A MEANDERING ARRANGEMENT OF LARGE AND MEDIUM SPACING TREES CLOSELY SPACED.



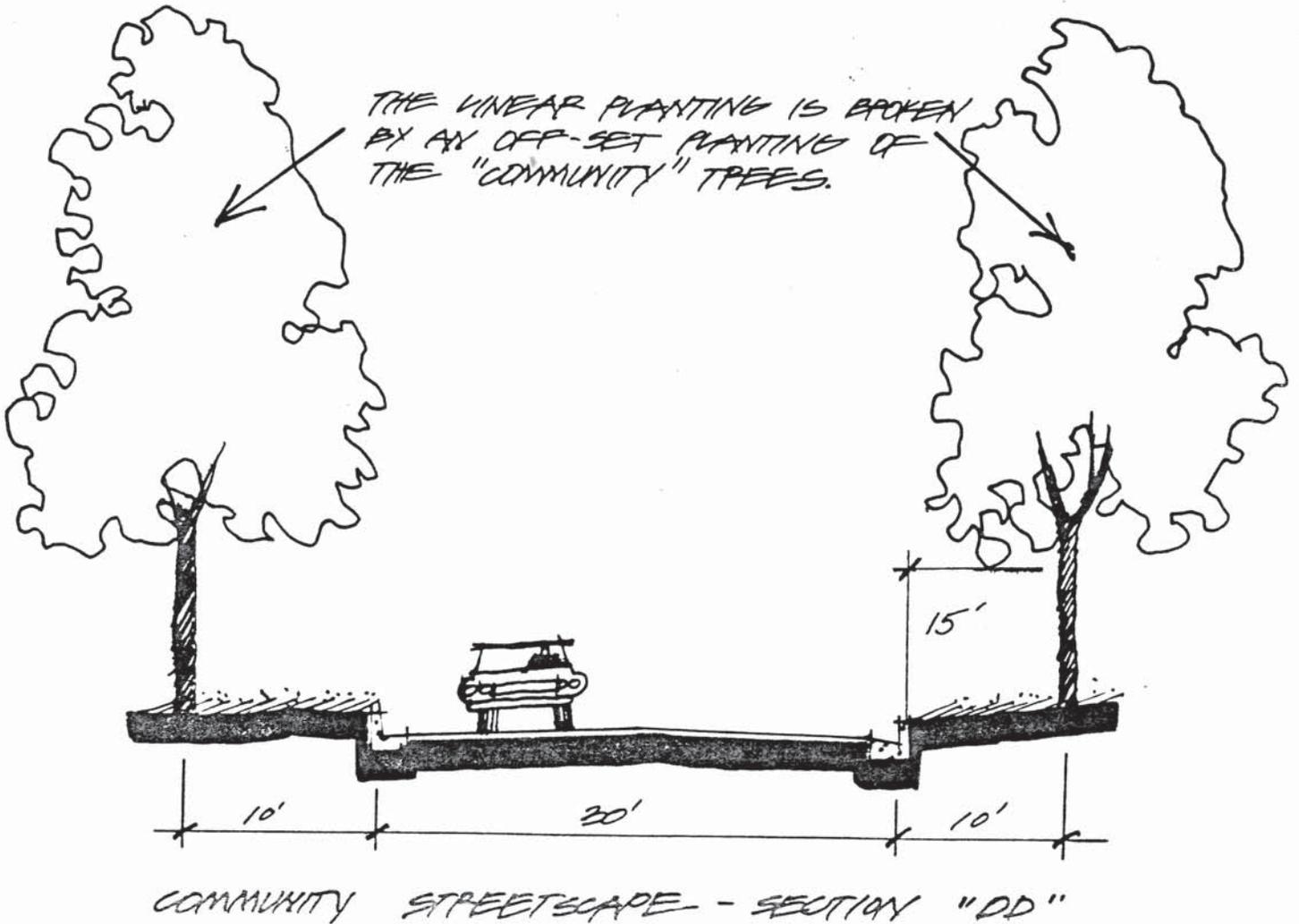
16TH STREET STREETSCAPE - SECTION "08"

LINEAR PLANTING OF LARGE, SPREADING TREES UNIFORMLY SPACED W/ CANOPY TREES CLOSING OVER THE STREETS

EACH DRIVE WILL HAVE A UNIQUE SPECIES

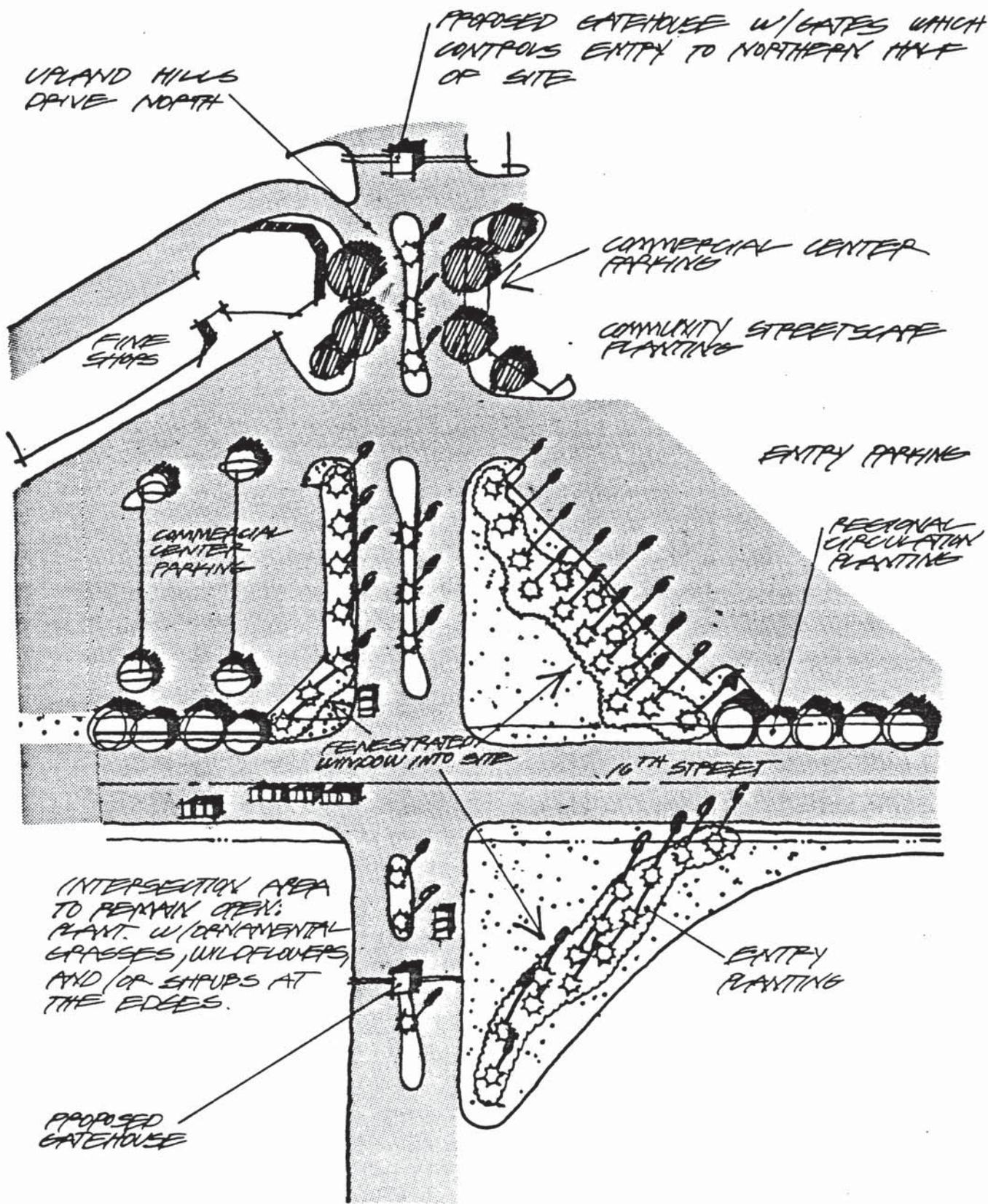


THE LINEAR PLANTING IS BROKEN BY AN OFF-SET PLANTING OF THE "COMMUNITY" TREES.



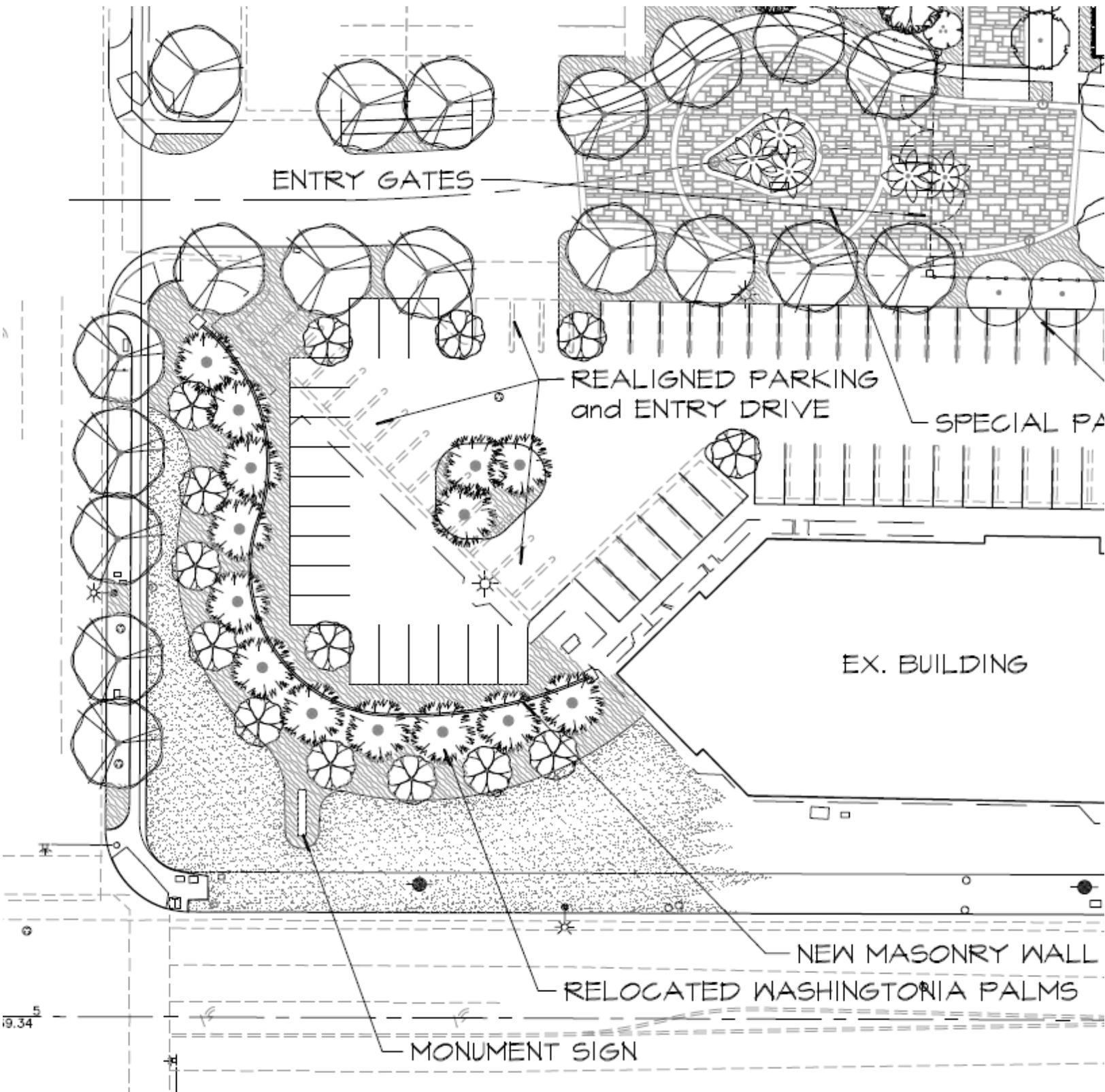
INTERSECTION CONDITIONS

MAJOR COMMUNITY ENTRIES

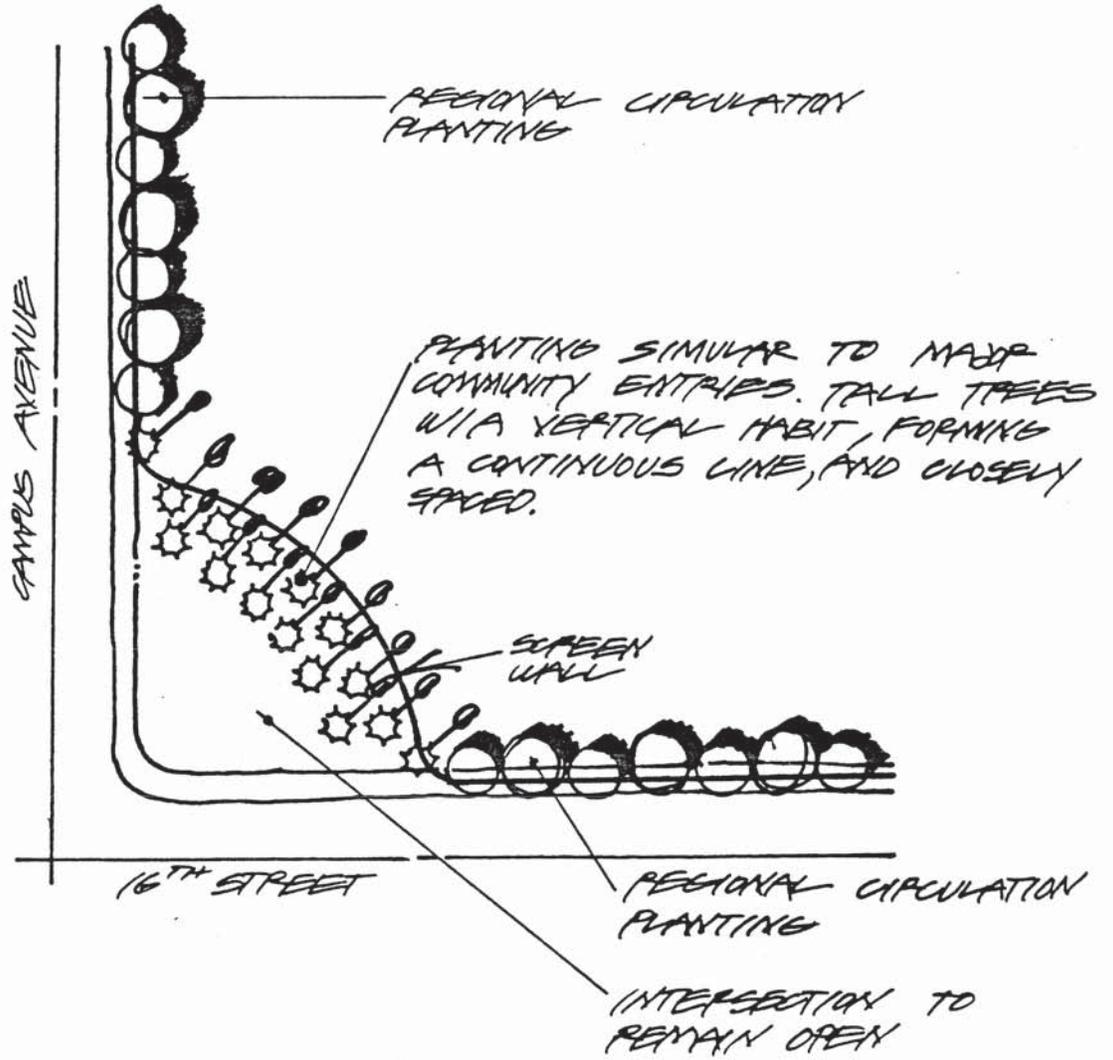


INTERSECTION CONDITIONS

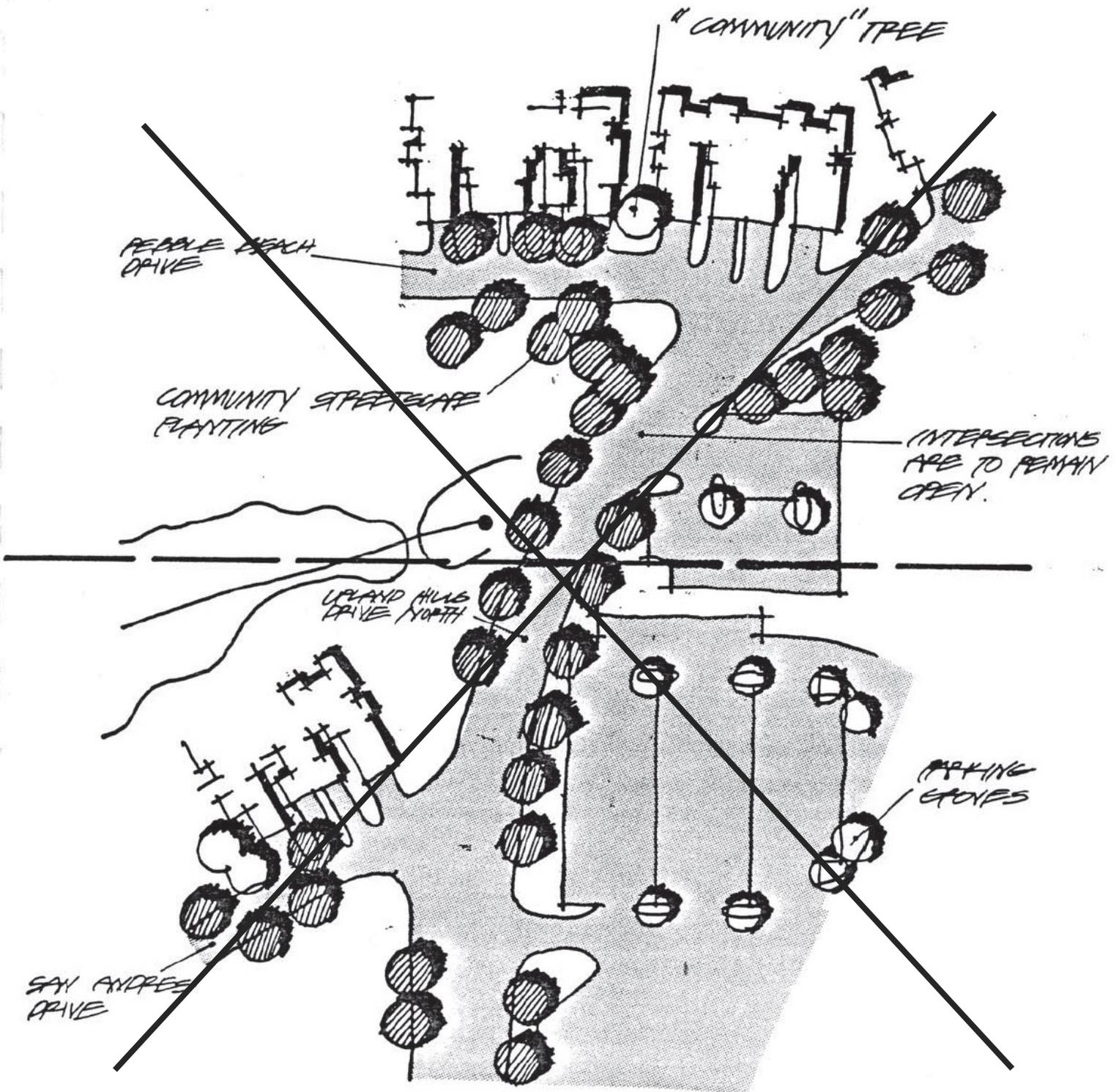
MAJOR COMMUNITY ENTRIES



A.
CAMPUS AVENUE / 16TH STREET



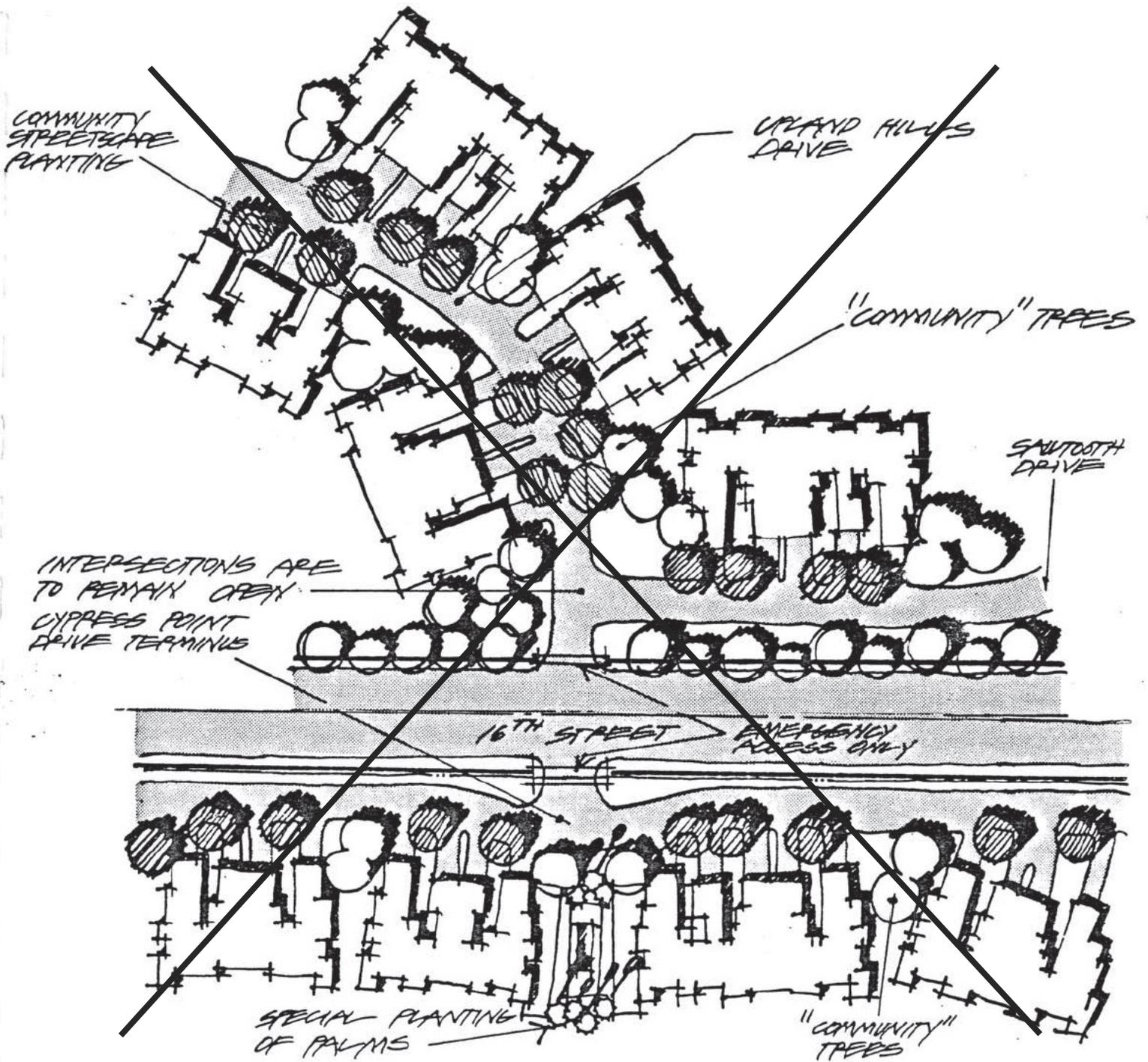
B. ~~UPLAND HILLS DRIVE NORTH /~~
~~PEBBLE BEACH DRIVE~~



DELETED

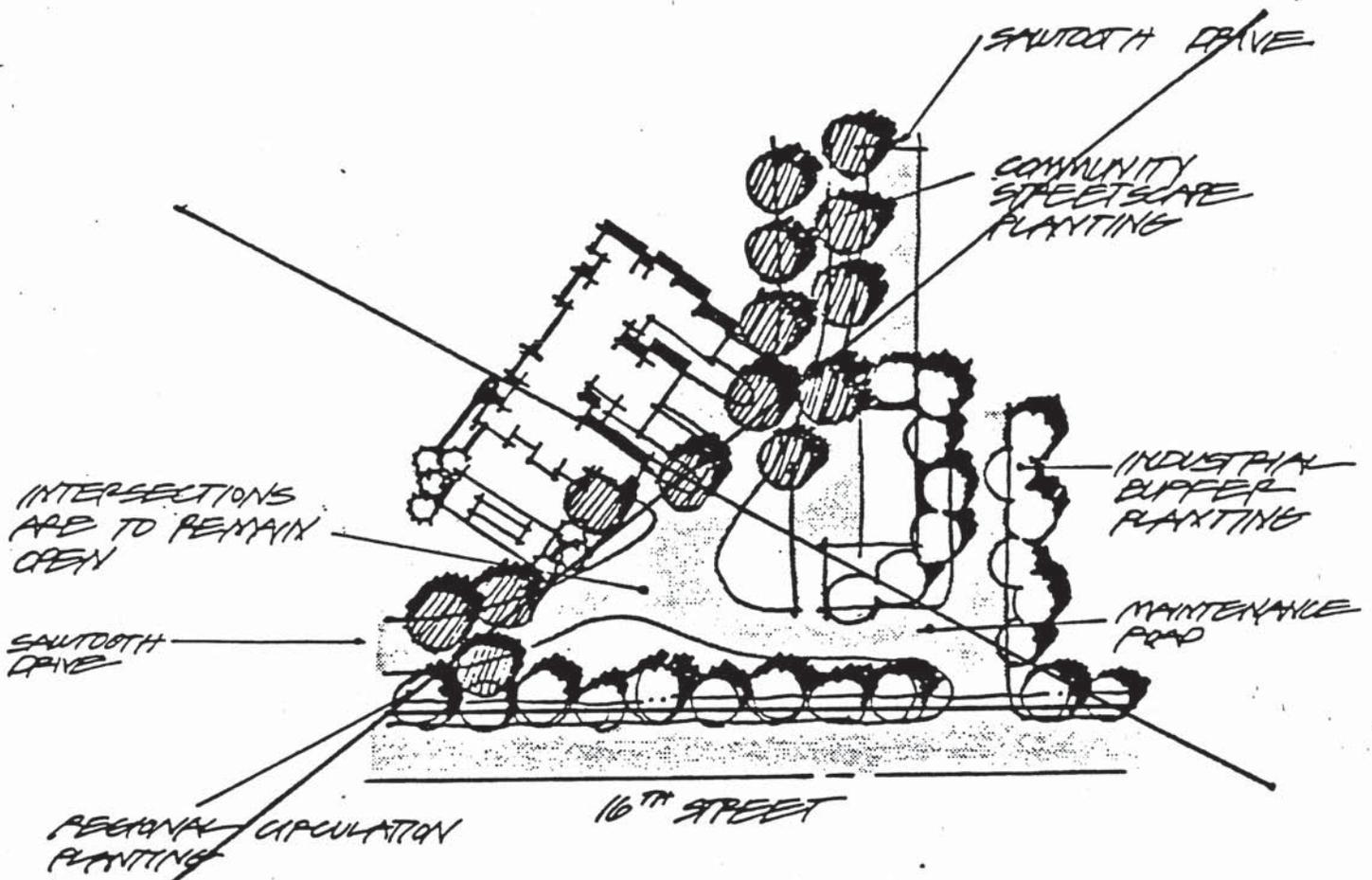
V. UPLAND HILLS DRIVE NORTH /
ST. ANDREWS DRIVE

D. ~~INTERSECTION: UPLAND HILLS DRIVE NORTH /
SAWTOOTH DRIVE & TERMINUS~~



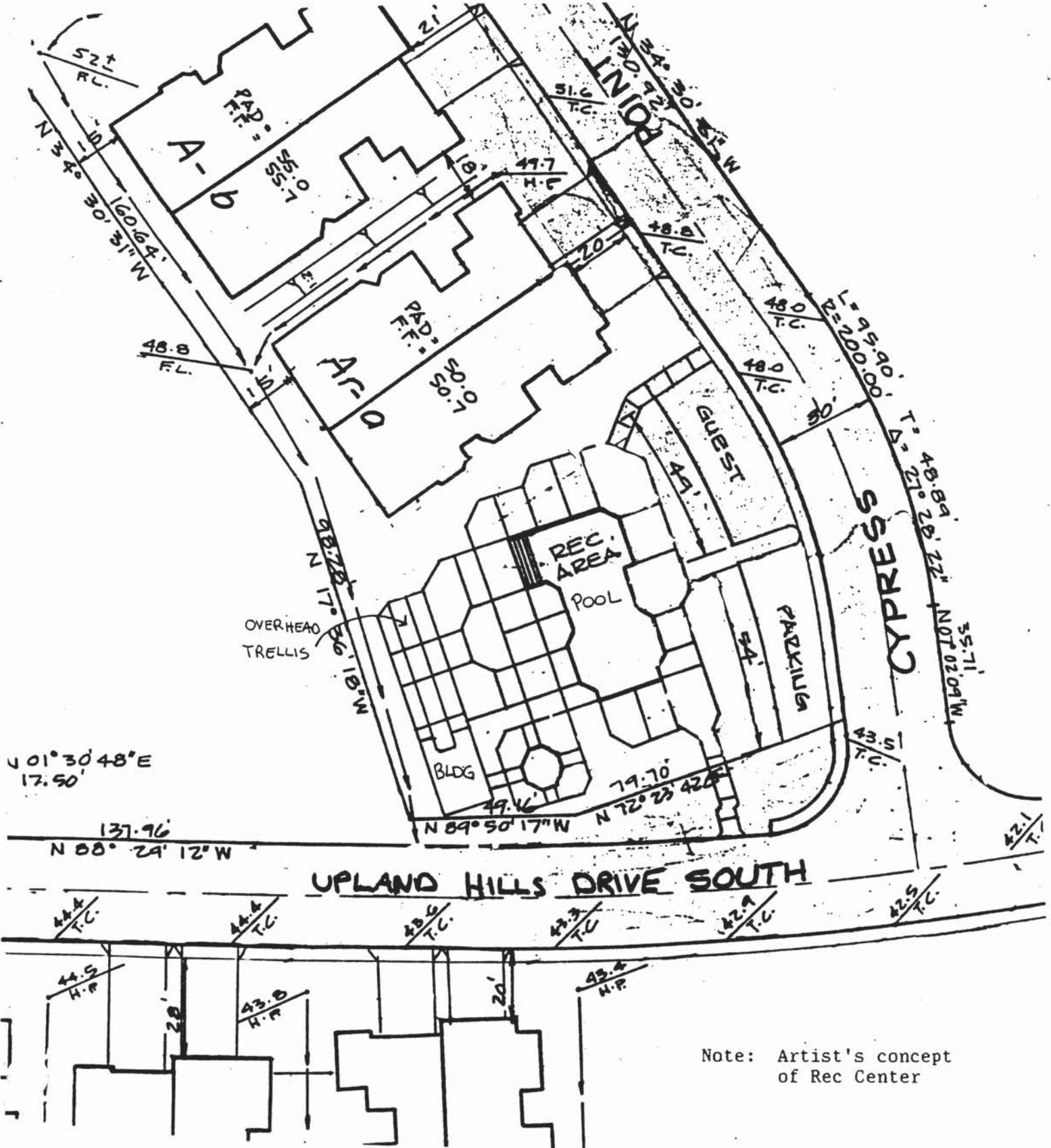
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~~E. SAWTOOTH DRIVE / MAINTENANCE ROAD~~



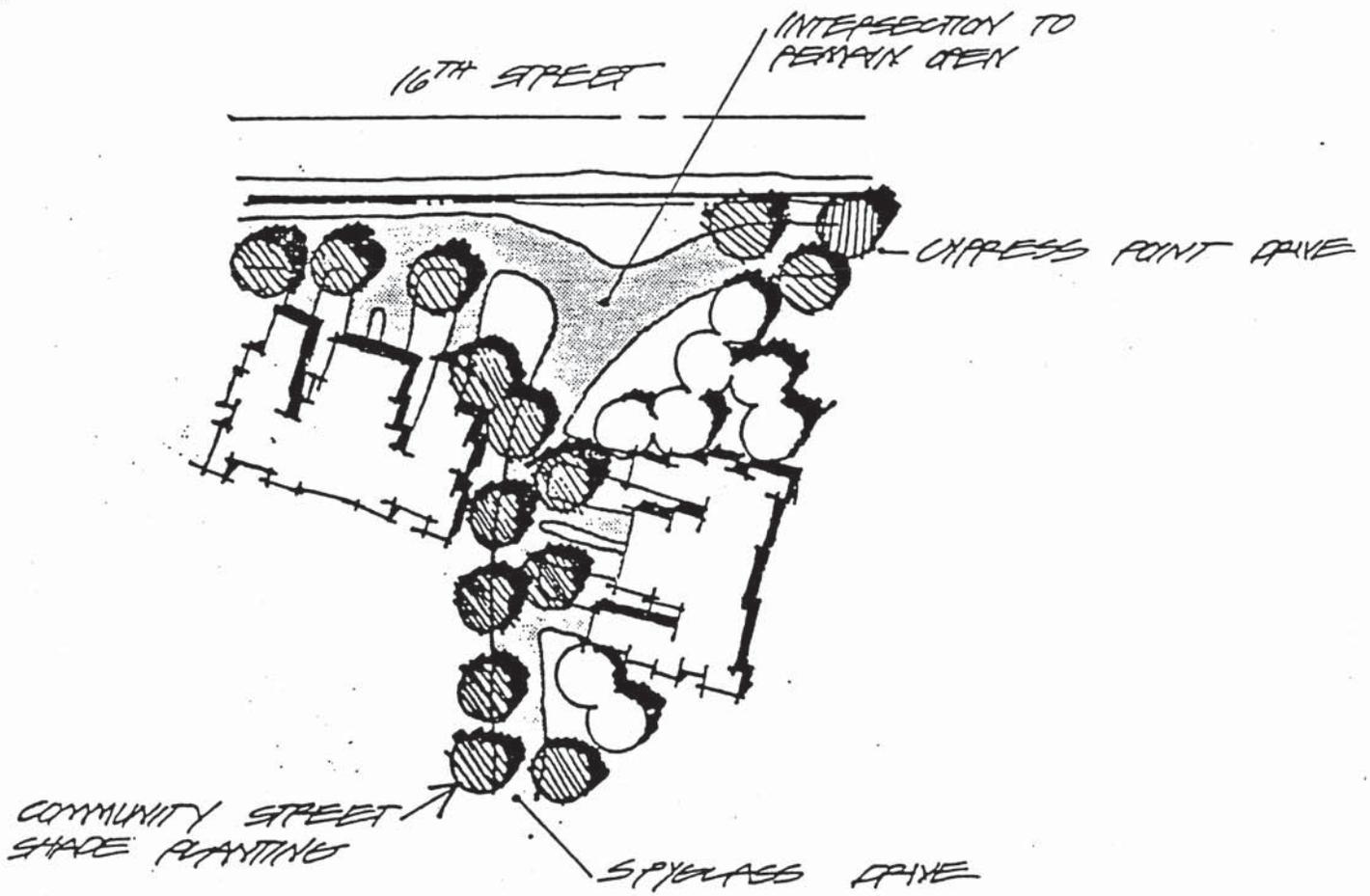
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F. UPLAND HILLS DRIVE SOUTH / CYPRESS POINT DRIVE

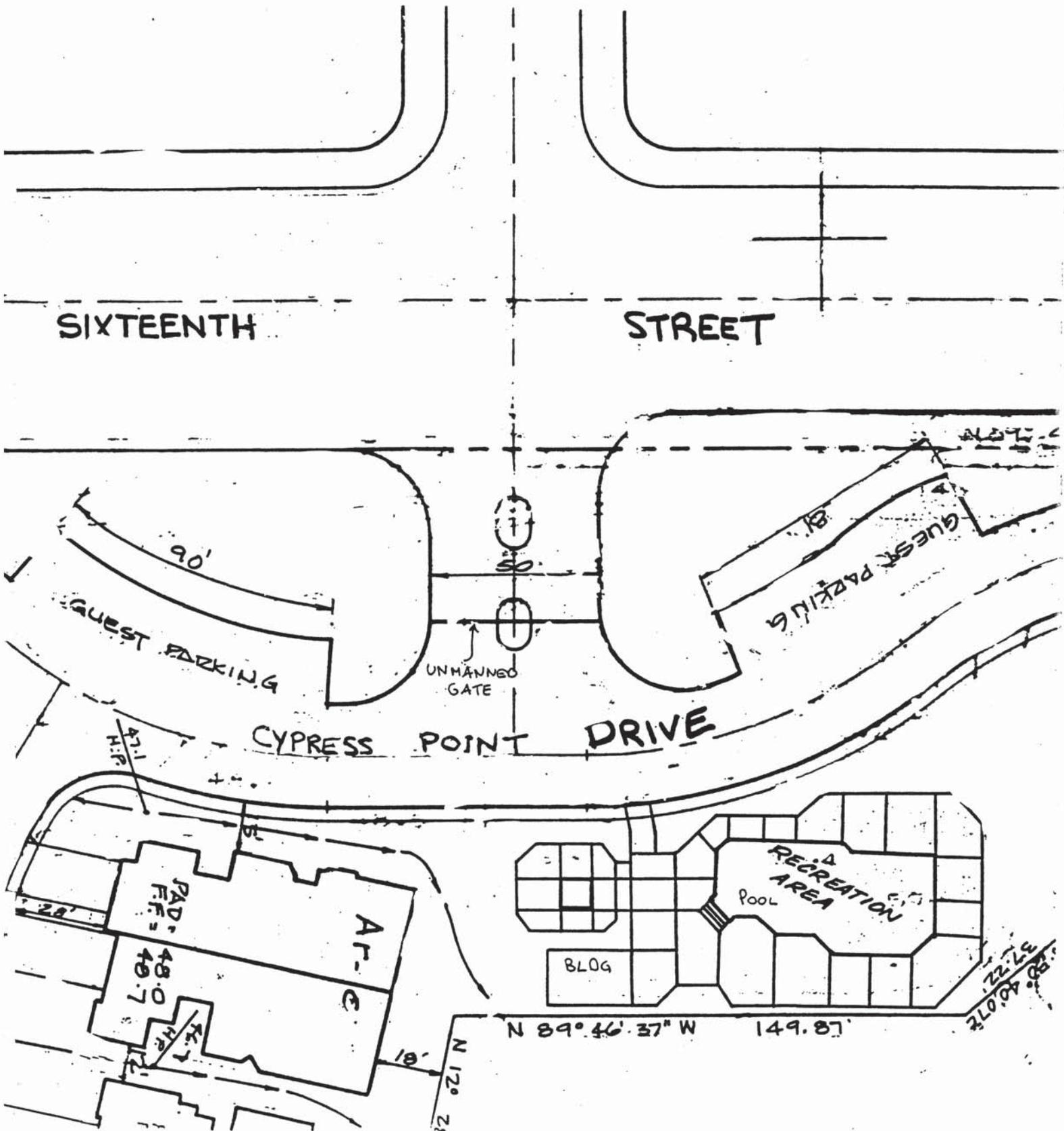


Note: Artist's concept of Rec Center

7. CYPRESS POINT DRIVE/SPYGLASS DRIVE



I POTENTIAL ACCESS AT SPYGLASS DRIVE AND TANGLEWOOD AVENUE



62 A

Note: Artist's concept of Rec Center

Road Standards (Cross-Sections)

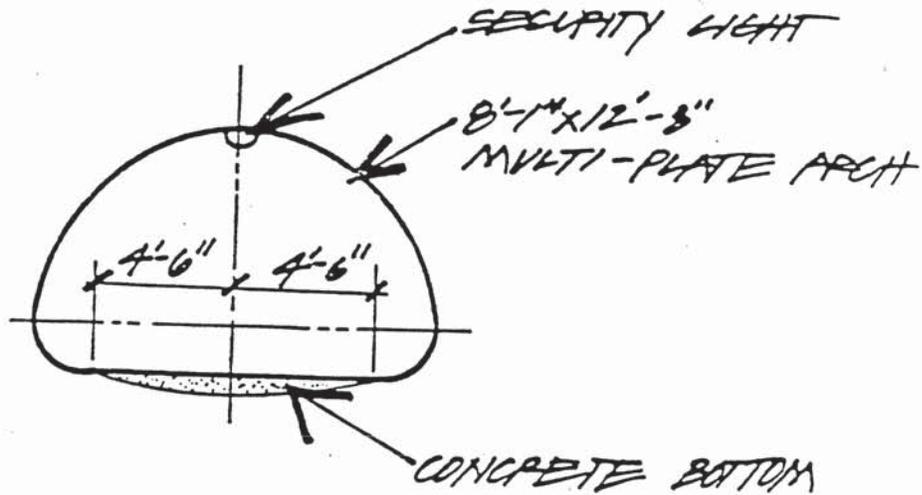
This portion of the Upland Hills Country Club Specific Plan will deal with the specific criteria for roads within the planned community. The Standard Road Cross-section Reference Plan contains the following proposed circulation plan:

- o The widening of 16th Street to its Master Planned 64 foot curb to curb width from the eastbound approach to Campus Avenue easterly to the Upland/Cucamonga City limits and which include bike paths on both north and south sides and a sidewalk on the south side only as shown in road cross-section "BB". Canopy street trees must have an above ground clearance of 15 feet.
- o The widening of Campus Avenue to its Master Planned 64-foot curb to curb width from 16th Street to 17th Street. This improvement will include the construction of a curb, gutter and sidewalk system on the east side of Campus Avenue with a noise-barrier wall as shown in road cross-section "AA".
- o The development of Upland Hills Drive North as primarily and access point to the Upland Hills Country Club development at a total width from curb to curb varying from 52 feet (including median) to 88 feet (including median) with sidewalks on both sides as shown in road cross-section "CC".
- o The interior roads such as Upland Hills Drive South as shown in road cross-section "DD" and other typical interior roads as shown in road cross-section "EE" will be developed for safe and efficient movement of people and goods within the Upland Hills Country Club project and will be at a minimum width of 30 feet curb to curb.

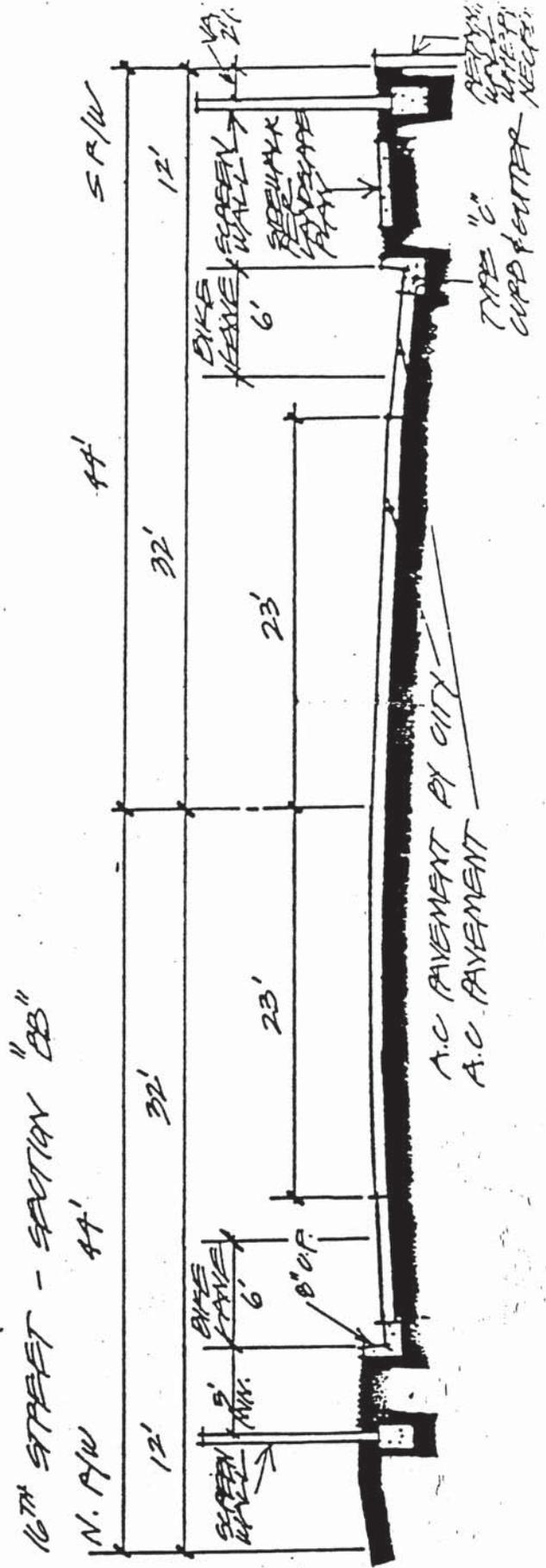
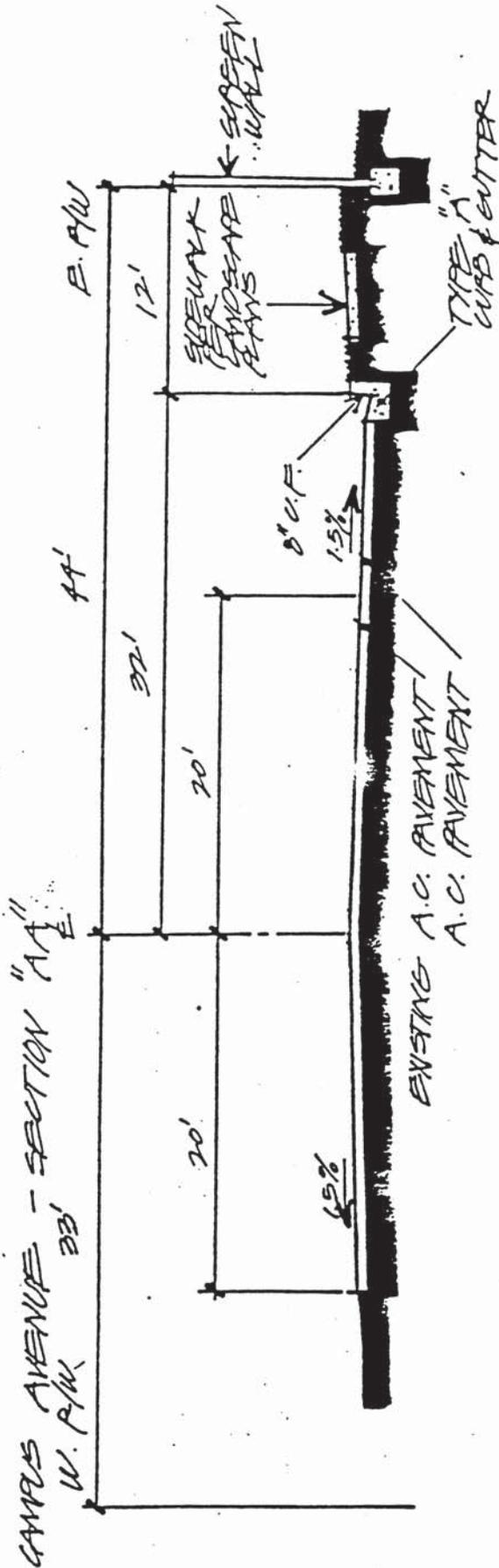
- o Providing access to the water tank and booster pumping facilities which will be located along Upland Hill Drive North. The facility will be separated from adjacent residential by a masonry wall and dense landscaping.
- o Propose vacation of 17th Street. *Vacation complete as of Oct. 1985*
- o Where cul-de-sacs extend beyond 600 feet from the nearest cross street or circulating roadway, emergency access shall be provided in accordance with Fire Department Standards within 200 feet of the end of the cul-de-sac.

- . A secondary public access (controlled with a card-key gate) or an emergency vehicle access will be located at the signalized intersection of 16th Street and Tanglewood Avenue. The design of this access shall be reviewed and approved by the City Traffic Engineer.

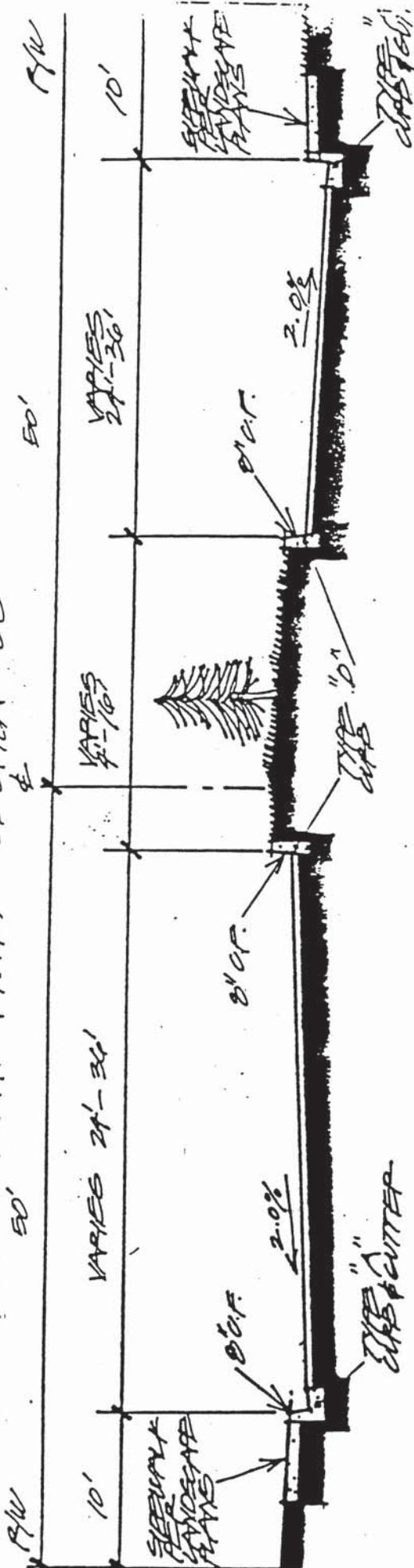
- o Subsurface passageway will be constructed to allow golf carts, pedestrian golfers and golf course maintenance vehicles access to entire Upland Hills Golf Course located on both sides of 16th Street. The passageway will consist of a multi-plate arch structure with a concrete floor and security lighting. The specific design details of the undercrossing shall be subject to the review and approval by the City Engineer.



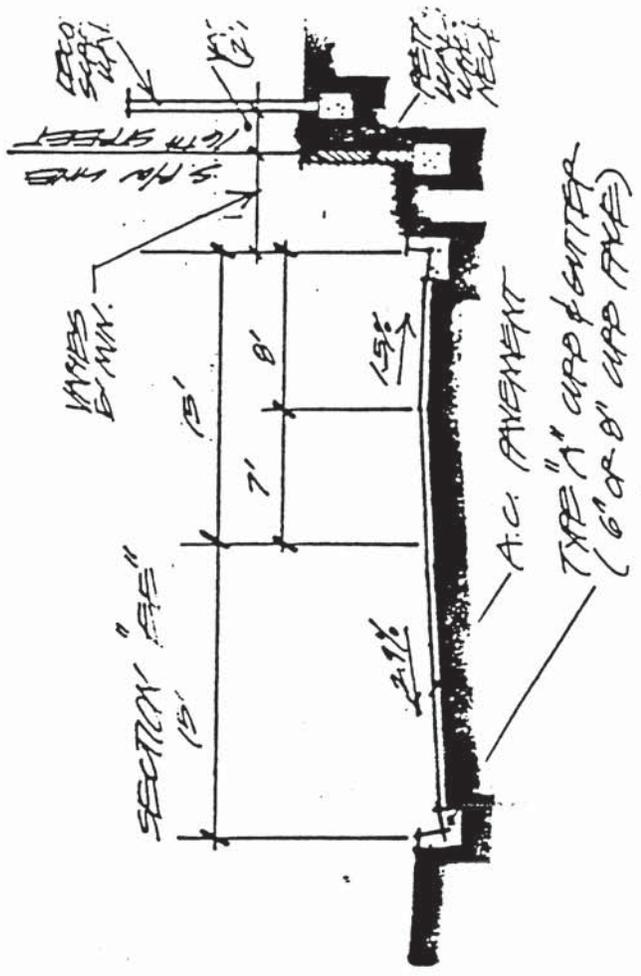
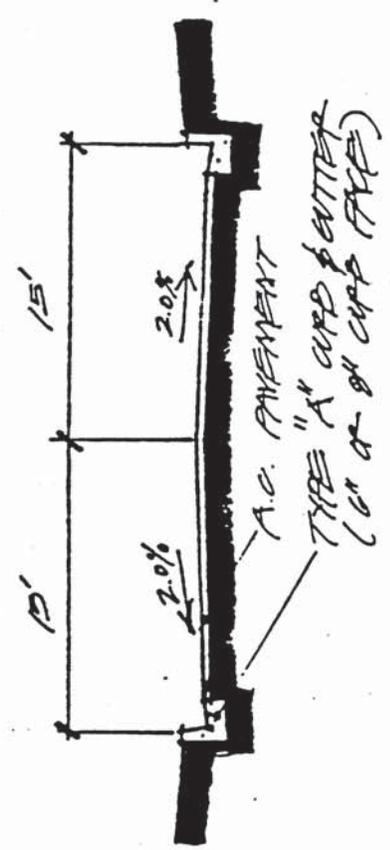
- AVIARD ROAD CROSS-SECTION



IRLAND HILLS DRIVE NORTH ENTRY - SECTION "CC"



IRLAND HILLS DRIVE SOUTH SECTION "DD"



NOISE MITIGATION - CONCEPT/STANDARDS

Noise sources whether existing or produced as a result of project implementation will be reduced in residential areas to a level compatible with intended character of the community by the following measures:

- o Construction Noise: Project grading and construction noise impacts can be minimized by limiting construction-related activities to weekday daytime periods. The maintenance of grading and related earth moving equipment should not take place near the southern boundary of the site during the late evening and early morning hours.
- o Vehicle Noise: Interior noise levels of the proposed residential units will be reduced to levels which comply with City and State standards. A noise barrier will be located *where required* along the northerly boundary of the site (See Public Works Component - Noise and Drainage Barrier). In addition, a noise barrier wall will extend along the easterly and westerly boundaries of the site (See Transportation Component - Proposed Circulation) adjacent to proposed residential development. Construction of residential units will include the following noise reduction components:
 - o All windows within the development should have an STC of at least 22.
 - o Roof sheathing of all units within the development should be continuous (plywood) and well sealed.
 - o Forced Air Ventilation - the interior CNEL of 45 db, as required by the State Standard and the City, is to be met with all windows closed. In the event that a sound test were required within a unit, the test should be performed with the windows closed.
 - o Average sound level - compliance with the interior noise standard (CNEL shall not exceed 45 db) is to be met for the average sound level in any habitable room within any unit. The field insertion loss per American Society for Testing and Materials Designation E-336-71, Appendix A-1, is considered appropriate.

- o Detailed view analysis shall be provided in conjunction with the review of the landscaped noise barriers to ensure mitigation of adverse visual impacts.

Population Noise:

Party wall and floor/ceiling separation details and specifications - the following will be considered in the detail design of the complex in order to assure compliance with the State of California Noise Insulation Standards:

- o Party Walls and Floor/Ceiling Separations, will provide at least a Sound Transmission Class (STC) of 50 dB to comply with the State Noise Standard.
- o Uncarpeted Floors in upper floor bathrooms, and/or kitchens, will be covered with a resilient flooring material to provide an Impact Insulation Class (ILC) of at least 50 dB, as required by the State Noise Insulation Standards.
- o Plumbing in Party Walls (if any). All waste and water supply piping in party walls will be isolated from the studs, plates and drywall with no less than 1/2" of approved sealer or by use of isolation pipe clamps and pipe insulators, as manufactured by Specialty Products Company, Stanton, California, or the equivalent.
- o Entry Doors - The State Noise Insulation Standards (CAL ADM CODE: Title 25, Section 1092) requires that entrance doors from interior for corridors shall have an STC of at least 30. It is not possible to specify an STC rated assembly of 30, since this rating is unavailable for residential doors. This problem with the Standard (relative to doors) has been discussed with the State Department of Health people. They indicate that a well weather stripped solid core door should be specified and that the STC omitted.

Final noise barrier heights will be determined by a registered acoustical engineer. All other noise attenuation devices will comply with City and State standards.

3

land use
regulations

THE UPLAND HILLS COUNTRY CLUB
LAND USE REGULATIONS AND STANDARDS

The purpose of this section is to provide specific regulations and development standards that all elements within the planned community must meet. The regulations and development standards are intended to provide a flexible method whereby large parcels of land may be designed and developed for residential, commercial, recreational, public, semi-public and open space uses in order to take advantage of the unique qualities of the site by innovative site planning techniques and to encourage:

- o A more creative approach to the development of land;
- o Variety in the physical development pattern of the City;
- o The conservation and enhancement of open-space;
- o The conservation and efficient utilization of energy resources;
- o Economics in housing construction and maintenance to expand housing opportunities for all economic segments of the community;
- o Efficiencies in the provision of City services; and
- o The protection and enhancement of community property values.

GENERAL STANDARDS AND REGULATIONS

Grading will be permitted within the Planned Community area outside of an area of immediate development upon the securing of a grading permit.

During site development, preparation, and construction, the hours of operation shall be limited to the period between 7:00 a.m. and dusk Monday through Saturday. No activities will be permitted outside of these hours including maintenance work that might be required on any equipment used in grading and/or construction unless a temporary waiver is granted by the City Engineer. No such waiver will be granted where such work is to be conducted adjacent to existing and occupied dwelling units except in cases of emergency as determined by the City Engineer.

Flood Control facilities to be maintained by the County of San Bernardino will require the approval of the San Bernardino County Flood Control District. Participation may include the construction of Master Plan facilities or the dedication of right-of-way.

Regardless of the provisions of this text, no construction shall be allowed within the boundaries of the Planned Community area except that which complies with all provisions of applicable building codes and the various mechanical codes related thereto.

Any land use proposal not specifically covered by this plan and its text shall be subject to the regulations of the City of Upland Zoning Code.

Whenever the regulations contained herein conflict with the regulations of the Zoning Ordinance of the City of Upland the regulations contained herein shall take precedence.

Model homes and their garages and private recreation facilities may be used as offices for the sale of homes within a recorded tract and subsequent tracts utilizing these same architectural designs subject to the regulations of the City of Upland governing said uses and activities. The City of Upland will receive a copy of all materials to be displayed in the sales office.

Developer will display a copy of the proposed Community Plan in all sales offices and will provide a copy of the plan to all buyers.

The overall Design Element will include, but not be limited to the following:

- Architectural Guidelines
- Fencing/Walls/Berms
- Community Graphics/Signing
- Lighting
- Street Furniture
- Exterior Materials, Texture and Colors

The proposed element and features will be presented to *City Design Review* for review and approval (See Implementation Program - Site Plan Review Process).

At such time as the site plans are considered, the developer shall submit plans demonstrating provisions for noise attenuation of units placed near arterials, and along boundaries of industrial operations, if noise attenuation is indicated based on an exterior performance level of 65dBA annual CNEL. The plans are subject to the approval of the Development Services Director.

Dedication and improvements of all rights-of-way shall meet with the approval of the City Engineer.

RESIDENTIAL DEVELOPMENT STANDARDS

Residential Condominium - Low Density

Condominium housing is intended for residential development and will range from 0 to 3 dwellings per gross acre of total project area. The following regulations are applicable for:

a. Uses Permitted:

- (1) Condominium projects.
- (2) Accessory buildings, structures and uses where related and incidental to a permitted use.
- (3) Recreation facilities and buildings for use by the residents of the project which may include golf course clubhouses, swimming pools, tennis courts, and other similar recreational uses or operations.

b. Temporary Uses Permitted:

- (1) Model homes, temporary construction offices, real estate offices, and signs.

SITE DEVELOPMENT STANDARDS (RESIDENTIAL)

(1) Building Setbacks from Common Areas:

Structures which abut a plaza, park, mall, greenbelt or other permanent open space, and have no openings onto such appurtenances, may abut the common property line.

(2) Fences, Hedges and Walls:

Fences, hedges and walls constructed as acoustical barriers shall be subject to review and approval of the City Development Services Director and *City Design Review*. All other fences shall be limited to 8 feet unless they are attached to a main building and are an architectural design element, in which case they can exceed 8 feet subject to design approval. Acoustical barriers shall be constructed in accordance with recommendations provided by an acoustical engineer and approved by the City of Upland Development Services Director.

(3) Building site coverage:

Buildings site coverage shall be less than thirty-five (35) percent of the total site area, excluding streets. Building coverage is defined as the land area covered by dwelling units, garages, carports and recreation buildings, including patios, porches and other architectural projections, but does not include roof overhangs, open balconies and uncovered porches or streets.

(4) Lot Size:

There shall be no minimum lot size. Dwelling units may be individually owned on land which is owned in common.

(5) Distance between dwellings:

No building containing dwelling units shall be located closer than 10 feet to opposing walls of another building containing dwelling units.

(6) Building height:

One and two-story not to exceed 25 feet for Areas A, B, C, D-1 and D-2. One and two-story for Development Area E shall not exceed 30 feet.

(7) Minimum floor area per dwelling:

Single story units shall not be less than 1,450 square feet and two story units shall not be less than 1,650 square feet for Areas A, B, C, D-1 and D-2. No dwelling units in Development Area E shall be less than 1,350 square feet.

(8) Garage and Carport Placement:

- a. The minimum setback of any garage or carport fronting on to any interior roads or local streets for Development Areas A, B, C, D-1 and D-2, the minimum setback shall not be less than 20 feet. The minimum setback of any side-on garage shall be not less than 5 feet. The minimum setback of any garage in Development Area E, where the driveway in front of the garage is providing required guest parking, shall not be less than 18 feet as measured from the garage door to the edge of the common drive or sidewalk.

- b. Garages shall be situated in such a manner so as to preclude cars in driveways from blocking sidewalks.
- c. Where garages or carports are entered directly from an alley, the setback may be zero (0) feet, provided at least 25 feet of clear area is provided directly behind the garage, carport or driveway to allow for adequate back-up clearance. In Development Area E the minimum back-up clearance on a shared driveway shall be at least 25 feet behind individual private driveways unless otherwise determined acceptable by the Development Services Director.

Lighting:

Any lights used to illuminate the parking spaces or driveways shall be designed and located so that direct rays are confined to the property and shall be subject to review and approval of the City *Design Review and/or* City Engineer.

Parking Regulations

Purpose and Intent

These regulations are established to provide for the on-site, off-street parking of motor vehicles that are attracted or required by the use or uses on the premises. The parking facilities for motor vehicles required by this section are assumed to be the typical facilities which will be required by the various land use categories. It is intended that these regulations will result in the installation of properly designed parking facilities of sufficient capacity to reduce traffic congestion, enhance public safety, and generally provide for the parking of motor vehicles in areas conveniently located to serve the use (City of Upland Minimum Off-Street Parking Dimensions).

Residential Parking Standards:

- a. Minimum number and type of parking spaces per dwelling: Not less than two (2) enclosed parking spaces, designated for exclusive use by occupants of the dwelling each such garage is intended to serve, shall be provided for each dwelling. Additional guest parking spaces shall be provided as follows:
 - o Not less than two (2) open, covered or enclosed spaces per dwelling.
 - o Required guest parking spaces in Development Area E may be located in the driveway in front of the individual unit garages if a minimum of 18 feet clear setback is provided in the driveway from the street, common drive or sidewalk, whichever is closer, to the garage door.
 - o Required guest parking or additional parking within Development Area E may be allowed on private streets within Development Area E if sufficient width is provided within the streets for such parking.

b. Location of Off-street Parking:

Required parking spaces, garages and carports shall be located on the same development area and conveniently accessible to the use or uses they service except where otherwise specified herein.

- c. Size of Parking Spaces:
 - 1) Each required covered off-street parking space shall be in a garage or carport a minimum of ten feet in width and twenty feet in depth free and clear not including exterior walls in Development Areas A, B, C, D-1, D-2. In garages or carports containing two or more side-by-side parking spaces, the required minimum measurements shall be measured to the inside of the exterior walls or supports of the structure, providing the minimum unobstructed width of each parking space is not less than ten feet. For Development Area E, garages shall have a minimum clear dimension of 20 feet by 20 feet.
 - 2) Uncovered parking spaces shall be a minimum of ten (10) feet in width and twenty (20) feet in depth, except as follows:
 - a) Off-street parking spaces parallel to and adjoining private access-ways shall be a minimum of ten (10) feet in width and twenty-three (23) feet in depth in Areas A, B, C, D-1 and D-2.
 - b) Driveway parking spaces adjacent to a residence garage in Development Area E shall be a minimum of nine (9) feet in width and eighteen (18) feet in depth.
 - c) On-street parking spaces on private streets within Development Area E shall be a minimum of eight (8) feet in width and twenty-three (23) feet in depth.
 - 3) In measuring the depth of uncovered parking spaces, vehicular projection beyond the bumper or tire stop may be permitted a maximum of 2' -6" if such projection does not interfere with landscaping or pedestrian use.
- d. Restriction of Use: the required off-street parking facilities and driveways shall not be used for any purpose which at any time would preclude the use of the area for the temporary storage of motor vehicles.
- e. Location of Residential Parking Spaces: All required off-street parking spaces shall be located conveniently accessible to the dwelling units serviced by the parking spaces.
- f. Parking lot design shall require the following:
 - 1) The off-street parking area shall be designed so that a vehicle within the parking area will not have to enter a street to move from one location to another location within that parking area;
 - 2) Parking and maneuvering areas shall be designed so that any vehicle can leave the parking area and enter into an adjoining vehicular right-of-way traveling in a forward direction.
 - 3) Bumpers or tire stops shall be provided along any property line abutting a public walkway, street, or alley, except where screening or landscaping is installed. Bumpers or tire stops shall be positioned to ensure that motor vehicles will not extend into the public right-of-way.
 - 4) Landscaping consisting of trees, shrubs, vines, ground cover or any combination thereof, shall be installed and maintained according to the following standards:

- 5) Boundary landscaping is required for a minimum depth of eight (8) feet along all parking areas abutting public streets except for the area required for street openings;
- 6) Internal landscaping in addition to sub-section (a) and equal to at least five (5) percent of the parking area, including driveways, is required and shall be dispersed throughout the area devoted to parking. All landscaped areas shall be enclosed by 6 inch high curbs which may be used as tire stops.
- 7) A minimum of one (1) tree of minimum 15 gallon size for each five (5) parking spaces is required. Trees are to be distributed within the parking area or in the boundary landscaped area described in sub-section (a) above.
- 8) The height of boundary or interior landscaping shall be limited to a height not to exceed three (3) feet, or in the case of trees, no branch be below six (6) feet, when within fifteen (15) feet of the point of intersection of:
 - o A vehicular trafficway or driveway and a street.
 - o A vehicular trafficway or driveway and a sidewalk.
 - o Two (2) or more vehicular trafficways, or driveways, or streets;
- 9) Watering: Permanent watering facilities equipped with an automatic controller and supplied with bubblers, sprinklers on hose bib designed for low water usage shall be provided for all landscaped areas.
- 10) Maintenance: Required landscaping shall be maintained in a neat, clean, and healthy condition. This includes pruning, mowing of lawns, weeding, removal of litter, fertilizing, replacement of plants where necessary, and the regular watering of all plant material;
- 11) Landscaping shall be distributed throughout the parking area to create a pleasing and attractive parking area.

g. Usability:

All required off-street parking spaces shall be designed, located, constructed and maintained so as to be fully and independently usable and accessible at all times.

h. Access to arterial highways:

- 1) Wherever access to a parking area is from an arterial highway, parking spaces, driveways, and maneuvering areas shall be designed so that motor vehicles shall enter the arterial highway traveling in a forward direction.
- 2) Vehicular access to arterial highways will be permitted only in accordance with specifically approved driveway locations and access design.

i. Paving:

All parking spaces, driveways, and maneuvering areas shall be paved and permanently maintained with asphaltic concrete, cement concrete, or other all-weather surfacing in compliance with City of Upland Standards.

j. Lighting:

Any lighting used to illuminate the parking spaces or driveways shall be designed with the following considerations subject to the review and approval of the City Development Services Director and City Engineer.

- Parking lot light stanchions should not exceed more than ten (10) feet.
- Parking lot illumination should not exceed 1ft foot candles per square foot.
- Direct rays will be confined to the property.
- Directional lighting will be required.
- Building identification lighting should have brightness sufficient for identification from adjacent parking areas.

k. Change or increase in use of property:

Whenever the occupancy or use or any premises is changed to a different use or the existing use is altered, enlarged, expanded or intensified, parking to meet the requirements of this section shall be increased as necessary, for the new use or occupancy or for the altered, enlarged, expanded, or intensified use or occupancy.

The provisions of this section are intended to meet the design needs for off-street parking under most conditions. Where, because of the nature of the use involved or other relevant circumstances, the requirements of this section are considered to be excessive, exceptions and modifications to these provisions may be approved in accordance with the following procedure, provided such exceptions and modifications are consistent with the purpose and intent of this section.

- a. Any property owner, his authorized agent, or a public agency may apply for exceptions to or modifications of, the off-street parking regulations as set forth herein.
- b. Exceptions to, or modifications of, the off-street parking regulations may be permitted subject to the provisions of Section 17.44.060 of the Upland Zoning Code in accordance with procedures for variances.
- c. In cases of mixtures of land uses on a single site or on contiguous sites, the property owner or his agent may submit a study by a professional traffic engineer demonstrating the feasibility of a reduction in the number of spaces required as a result of shared use of the parking facility.

Signs:

- Temporary real estate signs for the purpose of sale, lease or rental of real property or buildings may be permitted subject to the provisions of Chapter 17.15, Signs, of the Upland Zoning Code.
- Special signs for the purpose of providing direction or information or designating no parking, no-trespassing and other warning signs, public utility company signs, public

convenience signs, etc. shall be in compliance with the provisions of Section Chapter 17.15, Signs, of the Upland Zoning Code.

- Construction Signs in compliance with the provisions of Section Chapter 17.15, Signs, of the Upland Zoning Code.

Utilities Services:

- All utilities services including cable television shall be located underground.

Noise Attenuation: (Refer to Noise Mitigation - Concept/Standards)

Police/Fire Protection:

- The following will be required:
- The installation of card-key automatic gate system and/or manned security guarded gates at the major entrances of the development.
- Solid-core, quality frame external doors should be required. In addition, sliding glass windows and/or doors should incorporate design features which prevent burglary.
- Make available the educational services of the City of Upland Police Department for Crime Prevention Programs and techniques to all residents in the proposed project.
- Design Landscaping features in a manner that sensitive areas of buildings are not obscured from patrolling police vehicles.
- Adequate street lighting will be provided that not only provides lighting for the streets, but also illuminates portions of the golf course.
- Design streets and building locations to maximize access.
- All outside doors of the townhouses be equipped with quality dead-bolt locks.
- Smoke detectors will be required in all buildings per State law and local ordinances.
- The applicant must comply with all fire code and Fire Department standards and Building Department criteria required to provide an adequate level of fire and life safety within.

Resource Conservation:

The following measures shall apply:

- Require installation of low flow water closets in accordance with Section 17921.3 of the Health and Safety Code, which prohibits the construction of new structures employing tank-type water closets that use more than 3 1/2 gallons of water per flush and are approved by the California Department of Housing and Community Development.
- Require installation of water conservation features in accordance with regulations of the California Energy Commission standards for new residential and new non-residential buildings; shower heads, lavatory and sink faucets, effective January 1, 1979. (California Administrative Code, Title 24, Part 6, Article 1, T20-1406 F.).

- Steam and steam-condensate return piping and recirculating hot-water pipes in attics, garages, crawl spaces or unheated spaces other than between floors or in interior walls shall be insulated to provide maximum loss of not more than 60 Btu/hr. per linear foot for piping up to and including two inch nominal diameter and 100 Btu/hr. per linear foot for larger sizes (California Energy Commission regulations for New Residential Buildings).
- That water pressure greater than 50 pounds per square inch (psi) should be reduced to 50 psi or less by means of a pressure reducing valve.
- Flush valve operated water closets shall permit only three gallons per flush.
- Drinking fountains shall be equipped with self-closing valves.
- All hot water lines in dwellings be insulated not only to provide hot water faster with less water waste, but to keep hot pipes from heating cold water pipes.
- Trash compactors could be installed in each condominium to reduce the volume of refuse. This, in turn, would reduce the number of refuse pick-up trips which would reduce the amount of noise exposed to the community.

COMMERCIAL DEVELOPMENT STANDARDS

It is anticipated that the proposed commercial development for the Upland Hills Country Club will be an ancillary land use requiring the following development standards:

General to land uses designated as Regional-Related Commercial, and neighborhood Commercial/Visitor Commercial.

Regional Related Neighborhood/Visitor Commercial uses.

- a. The following general categories of uses shall be permitted subject to review and approval by the City of Upland in accordance with site plan review procedures and requirements.
 - (1) Retail Services
 - (2) Professional Offices
 - (3) General Business Offices
 - (4) Personal Services
 - (5) Financial Services
 - (6) Commercial Recreational Services
- b. Uses permitted subject to Conditional Use Permit:
 - (1) Cocktail Lounge
 - (2) Restaurant
 - (3) Hotel/Motel
 - (4) Outdoor Recreational Services
 - (5) Such other related uses as the Administrative Committee may deem appropriate.

SITE DEVELOPMENT STANDARDS (COMMERCIAL)

- (1) Building site coverage: No maximum subject to Site Plan Review.
- (2) Building site width: No minimum subject to Site Plan Review.
- (3) Maximum building height: Forty (40) feet excepting as may otherwise be permitted by Conditional Use Permit as provided in Chapter 9403 of the Upland Municipal Code.
- (4) All sales, servicing and storage shall be conducted entirely within a totally enclosed building constructed in conformity with the regulations of the City, excepting for such uses as may otherwise be specifically approved under a Conditional Use Permit and except for such "Grand Opening" "Annual Sales" or "Special Events Sales" which are first approved by the City Administrative Committee in accordance in provisions for same.

(5) Parking Regulations:

General commercial uses shall provide not less than 1 space/200 square feet of commercial area. Provided however, that parking for uses involving large concentrations of people including, but not limited to; hotels, motels, theatres, restaurants and the like, shall comply with the provisions of Section 9450.109.034 of the Upland Municipal Code.

The following off-street parking requirements are applicable to all uses other than residential.

a. Minimum size of Parking Spaces:

- (1) Covered or uncovered off-street parking spaces, except as noted below, shall be a minimum of nine feet - six inches in width and 20 feet in depth.
 - (a) Off street parking spaces may have 9 feet wide spaces, double-striped, with appropriate back-up maneuvering space in accordance with City of Upland CU-L-5 Standard .
 - (b) Parallel parking spaces shall be 10 feet by 23 feet.
 - (c) Parking spaces for the physically handicapped shall be a minimum of 12 feet in width and 20 feet in depth.

- (2) In measuring the depth of uncovered parking spaces, allowance may be made to accommodate vehicular projection beyond the bumper of tire stop a maximum of 2' - 6" if such projection does not interfere with landscaping or pedestrian use.

b. Parking Aisles:

The width of parking aisles shall be in compliance with City of Upland Standards (Ref. CU-L-5). Provided further that a minimum turning radius of 20 feet inside and 45 feet outside is maintained for all aisle access widths.

- c. Driveways providing access from a street to an off-street parking area or structure shall be constructed with: (1) One-way driveways shall have a minimum width of 15 feet; (2) Two-way driveway driveways shall have a minimum width of 24 feet.

d. Parking Lot Lighting:

The illumination of the parking areas will be designed with the following considerations subject to review and approval by the Architectural Commission.

- o Parking lot light stanchions should not exceed 10 feet.
- o Parking lot illumination should not exceed 1 - 1½ footcandle per square foot.
- o Directional lighting will be required.
- o Illumination of commercial and industrial parking lots should be curtailed except during business hours.

e. Recreational Area Lighting:

- o Recreational lighting should incorporate user systems (switched banks, coin operated, etc.). This measure would also reduce the consumption of electrical energy.

f. Paving:

All parking spaces, driveways, and maneuvering areas shall be paved and permanently maintained with asphaltic concrete, cement concrete, or other all-weather surfacing satisfactory to the City Engineer.

g. Restriction of Use:

The required commercial parking facilities shall not be used for any purpose which at any time would preclude the use of the area for temporary storage of motor vehicles.

h. Location of Commercial Parking Facilities:

All required commercial parking facilities will be located conveniently accessible to the commercial facilities served by the parking facilities.

i. Parking lot design shall require the following:

- (1) The parking area shall be designed so that a vehicle within the parking area will not have to enter a street to move from one location to other location within that parking area.
- (2) Parking and maneuvering areas shall be arranged so that any vehicle can leave the parking area and enter into an adjoining vehicular right-of-way traveling in a forward direction.
- (3) Bumpers or tire stops shall be provided along any property line abutting a public walkway, street or alley, except where screening or landscaping is installed. Bumpers or tire stops shall be positioned to ensure that the motor vehicles will not extend into the public right-of-way.
- (4) Landscaping consisting of trees, shrubs, vines, ground cover or any combination thereof, shall be installed and maintained according to the following standards:
 - o Boundary landscaping is required for a minimum depth of eight (8) feet along all parking areas abutting public streets except for the area required for street openings;
 - o Internal landscaping in addition to sub-section (a) and equal to at least five (5) percent of the parking area, including driveways, is required and shall be dispersed throughout the area devoted to parking. All loading areas shall be enclosed by 6 inch high curbs which may be used as tire stops.
 - o The height of boundary or interior landscaping shall be limited to a height not to exceed three (3) feet, or in the case of trees, no branch be below six (6) feet, when within fifteen (15) feet of the point of intersection of:
 - o A vehicular trafficway or driveway and a street.
 - o A vehicular trafficway or driveway and a sidewalk.
 - o Two (2) or more vehicular trafficways, or driveways, or streets;
 - o **Watering:** Permanent watering facilities equipped with an automatic controller and supplied with bubblers, sprinklers or hose bib designed for low water usage shall be provided for all landscaped areas.
 - o **Maintenance:** Required landscaping shall be maintained in a neat, clean, and healthy condition. This includes pruning, mowing of lawns, weeding, removal of litter, fertilizing, replacement of plants where necessary, and the regular watering of all plant material;
 - o Landscaping shall be distributed throughout the parking area to create a pleasing and attractive parking area.

- The following standards apply to Village commercial and regional related land uses only.
 - Internal landscaping in addition to subsection (a) and equal to at least five (5) percent of the parking area, including driveways, is required and shall be located in the area devoted to parking.
 - A minimum of one (1) tree of minimum 15 gallon size for each five (5) parking spaces is required. Trees are to be distributed within the parking area or in the boundary landscaped area described in sub-section (a) above.

j. Change or increase in use of property:

Whenever the occupancy or use or any premises is changed to a different use or the existing use is altered, enlarged, expanded or intensified, parking to meet the requirements of this section shall be increased as necessary, for the new use or occupancy or for the altered, enlarged, expanded, or intensified use or occupancy.

Fire Department Requirements:

- A fire flow hook-up to an automatic sprinkler system to the Department's recommendations will be required in the commercial areas of the project.
- Smoke detectors will be required in all buildings per State law and local ordinances.
- The developer shall submit to the Fire Department a complete and detailed site plan of the proposed commercial areas.
- The applicant must comply with all fire code and fire department standards and building department criteria required to provide an adequate level of fire and life safety within.

Signs:

Commercial signs shall comply with the provisions of Chapter 17.15, Signs, pertaining to HC Highway Commercial Zone of the Planning and Zoning Codes of the City of Upland and shall be subject to review and approval of the *City Design Review and/or the City Engineer.*

ROAD STANDARDS

Interior Road Standards: The minimum paved roadway width, inclusive of curb and gutters, or any interior roads (public or private) shall be in accordance with the following standards:

- a. Where no parking is permitted within the travel way: twenty-four (24) feet.
- b. No parking will be permitted on interior streets of residential areas in Areas A, B, C, D-1 and D-2.
- c. Where parking is permitted on both sides: thirty-six (36) feet.
- d. Parallel parking will be permitted on one side of the proposed 28 foot wide central roadway in Development Area E. Parking is not permitted within the 26 foot wide motor court common driveways proposed in Development Area E.

SIDEWALKS

- a. Minimum sidewalk width shall be four (4) feet except as may otherwise be approved by the City.

4

implementation
program

IMPLEMENTATION PROGRAM.

The Upland Hills Country Club planned community development involves the construction of approximately 612 residential condominium units, an 18-hole golf course, recreational amenities and neighborhood-visitor commercial facilities. To ensure that every element of the Upland Hills Country Club Specific Plan is carried out, the following process will be necessary.

- Site Plan Review Process

The City of Upland Development Services Director will review the applicant's submitted site plan. Upon reviewing the site plan, the Development Services Director will announce its decision in writing to the applicant. If approved, the Development Services Director Committee shall list its conditions for approval of the site plan. The site plan as well as the building floor plans, elevations, colors and materials, and landscaping shall be submitted concurrently for *City Design Review.* *Design Review* shall likewise announce its decision in writing and shall forward same, along with the conditions for approval, to the applicant.

- Conditional Use Permit

The applicant shall file for a Conditional Use Permit for the entire residential portion of the project area prior to or concurrently with the submittal of the tentative tract for the entire project in order to establish on-site street alignment. Conditional Use Permits shall be required for the golf course and commercial portions of the proposed project. In addition, electrical protection for underground utilities shall be conditioned in the Conditional Use Permit to meet any determined needs created by possible electrical vault conditions. The Planning Commission will make its findings and recommendations for approval through a resolution to the City Council for final approval.

- Tentative Tract Map

The applicant shall file a tentative tract map for each phase of residential development. The tentative map shall be filed after the Development Services Director and *City Design Review* have reviewed and approved the site plan. The Development Services Director makes a recommendation to the Planning Commission. The Planning Commission shall approve, conditionally approve, or deny all tract and parcel map applications.

- Specific Plan Amendment/Revisions

The Specific Plan will be utilized as a guideline for implementation of the Upland Hills Country Club. It's contents will provide design guidelines and concepts as well as regulations and guidelines that guarantee implementation of each design component in a coordinated and cohesive manner. Amendments/revisions to the Specific Plan shall be accomplished in the following manner:

- Major amendments to the Specific Plan where requests for modifications substantially change the concept of the plan shall be subject to approval by a Specific Plan Amendment Process, in accordance with Chapter 17.43 and Chapter 17.44 of the Upland Zoning Code. The Planning Commission is the recommending authority and City Council is the decision-making authority for Specific Plan Amendments.”

Project Phasing

The Upland Hills Country Club development will begin with the construction of the 18-hole golf course. When the golf course is completed, residential development will begin the first of fourteen (14) phases. Residential development (Phases I, II and III) will start in the northwestern portion of the site above 16th Street and west of Campus Avenue and will proceed counter clockwise throughout the site (see Phasing Plan). In addition, all off-site street improvements (with possible exception of traffic signalization), the golf course and associated drainage and wastewater treatment improvements, and the visual and noise barriers, will be required to be constructed as part of the initial development of this project.

All of the Upland Hills Country Club Specific Plan development described in the paragraph above, including the commercial area on the north side of 16th Street, has been completed prior to 2016. The last phase of residential development located in the southeast corner of the Specific Plan was completed in 1998. All off-site street improvements have been completed. Operating traffic signals are presently in place at intersections on 16th Street at North Campus Ave., Upland Hills Drive North/South, and Tanglewood Avenue. The golf course and associated drainage and wastewater treatment improvements were completed by 1985. The need for the proposed visual and noise barriers, proposed wall/berm along the north edge of the Specific Plan area, was eliminated with the past cessation of the sand and gravel mining operations to the north, which have been completely replaced with residential neighborhoods.

The proposed new residential Development Area E (now phase XV on the updated Phasing Plan on page 89) is anticipated to be completed by 2018.

MATRIX OF RESPONSIBILITY* 2016

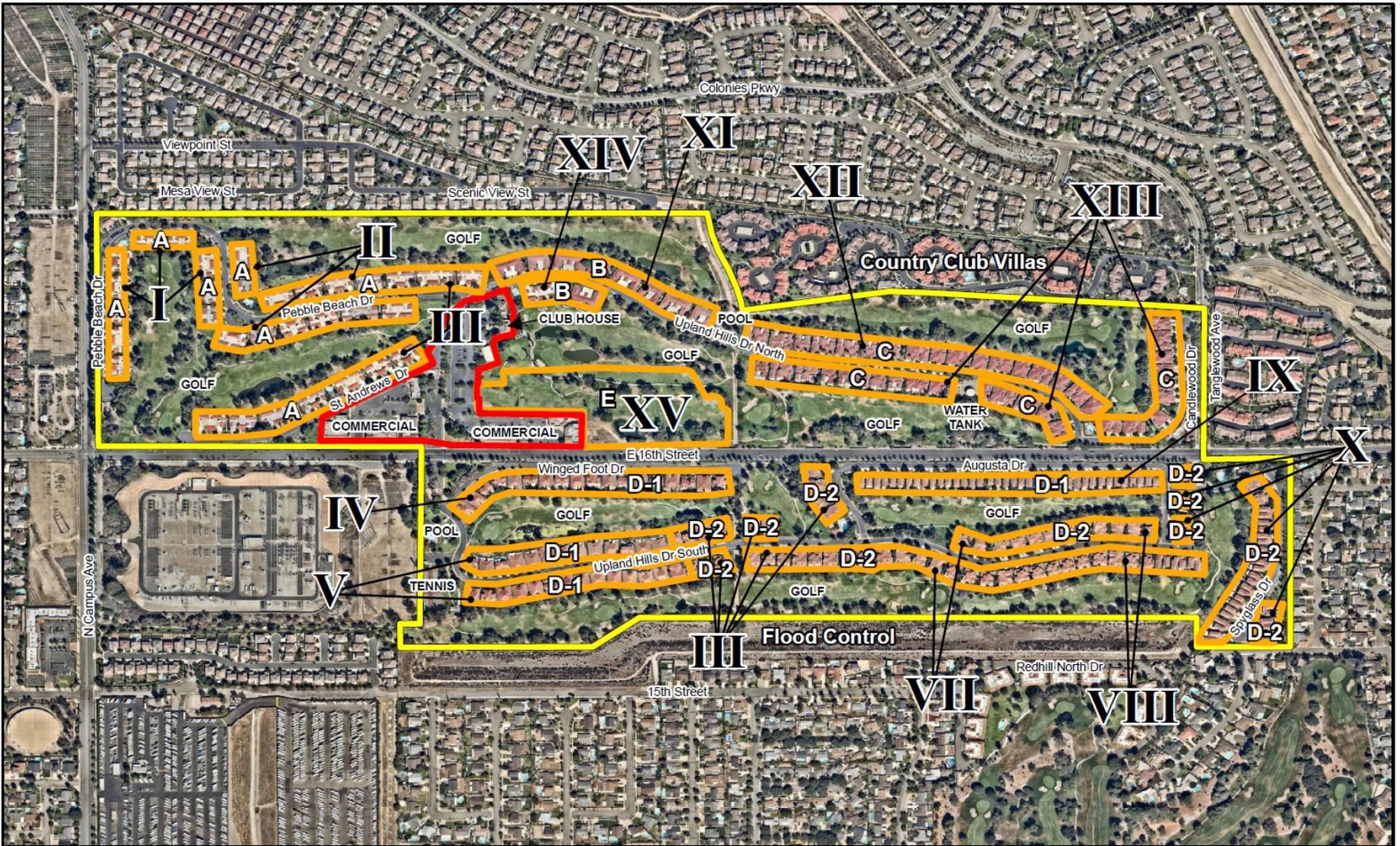
	OWNERSHIP	INSTALLATION	MAINTENANCE
Upland Hills Country Club Golf Course	Upland Development LLC	completed	Upland Development LLC
Public Parkways	City of Upland	completed	City of *** Upland
Wastewater Treatment Plant	City of Upland	completed	City of *** Upland
Commercial	Upland Hills Properties LLC and AK Properties LLC	completed	Upland Hills Properties LLC and AK Properties LLC
Residential	To be sold to the general public	Areas A, B, C and D-1&2 completed. Area E to be built by TBD.	Homeowners Associations
Cucamonga Bypass	Upland Development LLC**	*Upland Hills Country Club Assoc. Ltd.*	Upland Development LLC**
Common Area and Recreational Amenities	*Upland Hills Country Club Assoc. Ltd.* and Upland Hills Estate Condominium Association	Areas A, B, C and D-1&2 completed. Area E to be built by TBD.	Homeowners Associations

* More precise descriptions of ownership, installation, and maintenance agreements are contained in the CC&R's

** The San Bernardino Flood Control District will be granted an easement/ right-of-way over the Cucamonga Bypass

*** The parkways on all public right – of – ways shall be fully landscaped to a plan to be approved by City Engineer, and there shall be both a landscape maintenance establishment period and an agreement between the City and the development for perpetual maintenance of these parkways as a part of the total development CC&R package.

**** The wastewater treatment plant shall be maintained through a wastewater maintenance district that will be assessed to the entire project. The responsibility for the administration of the district will be that of the City of Upland.



Aerial: NearMaps - Nov 18, 2015

Phases	Completion
I, II, III	1985
IV, V, VII, XI, XIV	1994
VIII, IX, X, XII, XIII	1998
XV	Proposed 2018

- Upland Hills Country Club Specific Plan Boundary
- A, B, C, D-1, D-2 and E: Residential Development Areas
- Commercial

**UPLAND HILLS
COUNTRY CLUB**
UPLAND, CALIFORNIA



appendix

UPLAND HILLS COUNTRY CLUB
SPECIFIC PLAN PROPERTY DESCRIPTION 2016

That certain real property in the City of Upland, County of San Bernardino, State of California, described as follows:

Lots 2, 3, 4, 5, 6, 7, 8, 9, 10, 12, 13, 14, 15, 17, 19, 20, 21, 22, 23, 26 and 29 of Tract No. 11631 (M.B. 158/53-62).

Lots 1, 5 and 6 of Tract No. 14517 (M.B. 236/8-9).

Parcels 1, 2 and 3 of Parcel Map No. 15063 (P.M. 184/82-83).

Lots 1, 2, 3, 4, 5, 6, 7, 8, 9 and 10 of Tract No. 15337 (M.B. 248/9-11).

Parcels 1, 2, 3 and 4 of Parcel Map No. 15459 (P.M. 191/5-8).

DEFINITIONS

Abutting: Having lot lines or zone boundaries in common.

Accessory Building: A building, part of a building or structure or use of building, or structure or use which is subordinate to, and the use of which is incidental to, that of the main building, structure or use on the same part of, or joined to the main building, such accessory building shall be counted as part of the main building.

Accessory Use: A use incidental or subordinate to and devoted exclusively to the main use of the land, building there (sic).

Advertising Structure: A structure of any kind or character erected or maintained for outdoor advertising purposes, upon which any poster, bill, printing, painting or other advertisement of any kind whatsoever may be placed, including statuary, for advertising purposes.

Animal Hospital: A place where animals or pets are given medical or surgical treatment and are cared for during the time of such treatment (See "kennel").

Attached Dwelling Unit: Any dwelling unit that shares one or more walls with another, adjacent dwelling unit.

Automobile Service Station: A use providing motor fuel, oil, tires, batteries, small parts and accessories, and services incidental thereto for automobiles, light trucks, and similar motor vehicles.

Building: A permanently located structure having a roof (all forms of vehicles excluded).

Building Area: The sum in square feet of the ground areas occupied by all buildings and structures on a lot.

Building, height: The vertical distance measured from the adjoining curb level to the highest point of the structure, exclusive of chimneys and ventilators; provided, however, that where buildings are set back from the street line, the height shall be measured from the average elevation of the finished grade at the front of the building.

For multiple-family buildings and structures, the height is to be determined by the height of the top wall of the highest story, as such is related to either the proposed or the minimum legal ceiling height, whichever is the greater. However, when the subject building is designed with gable ends facing the subject sideyard, the height shall be determined at the ridge height of said gable, if this point is higher than said top wall plate.

Building Setback Line: The minimum distance, as prescribed by ordinance, between any curb line and the closest point of the foundation of any building or structure related thereto.

Building Site: The ground area of a building together with all open space required by this article.

Cocktail Lounge: A use providing preparation and retail sales of alcoholic beverages on a license "on sale" basis for consumption on the premises including taverns, bars and similar uses.

Commercial Recreational Services: A use providing recreation, amusement, or entertainment services, including theaters, bowling lanes, skating arenas and similar services, operated on a private or for-profit basis, but excluding uses defined as outdoor recreation services.

Community Facility: A use established primarily for the benefit and enjoyment of the population of the community in which it is located.

Compatible Use: A use that by its manner of operation, is suitable in the zone in which it may be nonconforming. The use of land or building shall be in harmony with uses on abutting properties in the same zone.

Condominium:

- (a) The term "condominium" as used herein refers to a type of ownership which consists of a separate fee simple estate in an individual air space unit of a multi-unit property together with an undivided fee simple interest in common elements.
- (b) The term "Individual Air Space" shall consist of any enclosed room or rooms occupying all or part of a floor or floors in a building of one (1) or more floors to be used for residential, professional, or commercial.
- (c) The term "Common Elements", unless otherwise provided in the declaration or by written consent of all the condominium owners, means: The land of the interest therein on which a building or buildings are located; the foundations, columns, girders, beams, supports, main walls, roofs, halls, corridors, lobbies, stairs, stairways, fire escapes, entrances and exits of such building or buildings; the basements, yards, gardens, parking area, and storage spaces; the premises for the lodging of custodians or persons in charge of the property; installations of central services such as power, light, gas, hot and cold water, heating, refrigeration, central air conditioning, and incinerating; the elevators, tanks, pumps, motors, fans, compressors, ducts, and in general all apparatus and installations existing for common use; such community and commercial facilities as may be provided for in the declaration; and all other part of the property necessary or convenient to its existence, maintenance, safety, or normally in common use.
- (d) The term "Condominium Unit" means an individual air space unit together with the interest in the common elements appurtenant to such unit.
- (e) The term "Declaration" refers to an instrument which defines the character, duration, rights, obligations and limitations of condominium ownership.

Coverage: That portion of a lot or building site which is occupied by any building or structure, excepting paved areas, walks and swimming pools, regardless of whether said building or structure is intended for human occupancy.

Cul-De-Sac: A dead-end road or street.

Dwelling: A building or portion thereof designed and used exclusively for residential occupancy, with exception of permitted home occupations, including one-family, two-family, and multiple dwellings, but not including hotels, boarding or lodging houses.

Dwelling Unit: An integrated assembly of one or more rooms, in addition to a kitchen and bathroom, in a dwelling, apartment house or apartment hotel designed for or occupied by one family for living or sleeping purposes, and containing only one kitchen.

Dwelling Unit, Single-Family Attached: A single family attached building designed or used exclusively for the occupancy of one family, having kitchen facilities for only one family.

Easement: A space on a lot or parcel of land, and so indicated on a subdivision map or in a deed restriction, reserved for or used for public utilities or public uses.

Educational Institutions: Schools, colleges or universities giving general academic instruction, as determined by the state board of education.

Feeder Road: A road or street intended to carry neighborhood traffic only to the nearest arterial road.

Financial Services: A use providing financial services to individuals, firms or other entities. "Financial Service" includes banks, savings & loan institutions and similar loan and lending activities.

General Business Offices: A use principally providing services to individuals, firms or other entities including: real estate, insurance, property management, investment, personnel, travel and similar services and including business offices of public utilities or other activities when the service rendered is that customarily associated with administrative office services.

Gross Acre: The total area of land within specified lot lines, including all roads, streets and land uses.

Gross Density: The total number of dwelling units per gross acre of land.

Gross Floor Area: The total horizontal area, in square feet, including the exterior walls, of all floors of a structure.

Hotel/Motel: Any building or portion thereof with access provided through a common entrance, lobby, or hallway to six or more guest rooms having no cooking facilities and which rooms are used to provide temporary or overnight lodging of guests.

Kennel: A facility designed primarily to provide boarding services for domestic animals such as cats and dogs.

Landscaping: An area devoted to, or developed and maintained predominantly with native or exotic planting, lawn, groundcover, gardens, trees, shrubs and other plant materials; and also including accessory decorative outdoor landscape elements such as pools, fountains, water features, paved or decorated surfaces or rock, stone, brick, block or similar material (excluding driveways, parking, loading or storage areas), and sculptural elements.

Local Residential Street: A public or private street for road that dispenses automobile traffic from feeder roads to individual dwelling units.

Lot Coverage: The area of a lot covered by buildings, including eaves, projecting balconies, and similar features but excluding ground level paving, landscaping, and open recreational facilities.

Lot: A "lot", when referred to in this article, means a parcel of land with a separate and distinct number or other designation shown on a plat recorded in the office of the county recorder and legally in existence on the effective date of Ordinance No. 553; or

A parcel of land delineated on an approved record of survey, lot split or sub-parceling map as filed in the office of cht commission and abutting at least one public street; or

A parcel of land containing not less area than required by the zone in which it is located, abutting at lsease one public street and held under separate ownership from adjacent property prior to the effective date of Ordinance No. 553.

Lot Area: The total of the lot area, measured in a horizontal plane, within the lot lines of a lot.

Lot depth: The average horizontal distance between the front and rear lot lines measured in the mean direction of the side lot lines.

Lot Line: Any line bounding a lot as herein defined.

Lot line, front: All property fronting on one side of a street between a street and right-of-way, waterway, or between intersecting or intercepting streets, the end of a dead-end street, or city boundary measures along a street line. In case of a corner lot, a line separating the narrowest street frontage of the lot from the street, except in those cases where the latest tract deed restrictions specify another line as the front lot line.

Lot line, Rear: A lot line which is opposite and most distant from the front lot line. In the case of an irregular, triangular or gore-shaped lot, a line within the lot, parallel to and at a maximum distance form the front lot line, having a length of not less than ten (10) feet.

Lot Line, Site: Any lot boundary line not a front line or a rear lot line; an interior lot line.

Lot Width: The average horizontal distance between the side lot lines, measured at right angles to the lot depth at a point midway between front and rear lot lines.

Multiple Family Use: The use of a site for two or more dwelling units, which may be in the same building or in separate buildings on the same site.

Net Acre: The area of land devoted to a specific land use, including the building area, parking area, driveways, private roads and accessory buildings or uses, but not including public right-of-way or other land uses.

Net Density: The number of dwelling units per net acre of land.

Outdoor Recreational Services: A privately owned or operated use providing facilities for outdoor recreation activities including golf, tennis, swimming or other outdoor sports or recreation operated predominantly in the open except for accessory or incidental enclosed services or facilities.

Parking Aisle: Driveways which have parking space taking access from either or both sides and which are intended primarily to provide access to parking spaces.

Parking Space: An area on a lot or within a building, used or intended for use for parking of a motor vehicle, having permanent means of access to and from a public street or alley independently of any other parking space.

Parking Lot: An area containing one or more parking spaces together with driveways, aisles, turning and maneuvering areas, and similar areas.

Parkway: The area of land between the road curb and the ultimate right-of-way.

Personal Services: A use providing services of a personal convenience nature; cleaning, repairs, or sales incidental thereto and including: art, dance or music studios, beauty and barber shops, shoe repair, copying, self service laundry and cleaning pickup stations (where bulk cleaning and servicing is done elsewhere), repair and fitting of clothes and personal accessories, and similar services.

Private: Belonging to, or restricted for the use or enjoyment of, particular persons.

Private Recreation Facility: Outdoor Recreation Service.

Plot Plat: See: "Site Plan".

Private Educational Facility: A privately owned school, including schools owned and operated by religious organizations, offering instruction in the several branches of learning and study required to be taught in the public schools by the education code of the State of California.

Professional Offices: A use providing professional or consulting services in the fields of law, architecture, design, engineering, accounting, and similar professions also including consulting, diagnosis, therapeutic, preventive or corrective personal treatment services by doctors, dentists and similar practitioners licensed for such practice by the State of California.

Public Educational Facility: A public school, operated by a public school district and offering instruction in the several branches of learning and study required to be taught in the public schools by the Education Code of the State of California.

Restaurant: A use providing preparation and retail sale of food and beverages, including restaurants, fountains, cafes, coffee shops, sandwich shops, ice cream parlours, and similar uses, and including licensed "on-sale" provision of wine and beer for consumption on the premises when accessory to such food service.

Retail Services: A use engaged in providing retail sales, rental, service, processing repair of items primarily intended for consumer or household use including the following: groceries, meats, vegetables, dairy products, baked goods, candy and other food products; liquor and bottled goods; house cleaning and maintenance products; drugs, cards and stationery, notions, books, tobacco products, cosmetics and specialty items; flowers, plants, hobby materials, toys, household pets and supplies and hand-crafted items; apparel, jewelry, fabrics and like items; cameras, photography services, household electronic equipment, records, recording equipment, kitchen utensils, home furnishing and appliances, art supplies, art and antiques, paint and wall paper carpeting and floor covering, interior decorating services, office supplies; bicycles and automotive parts and accessories (excluding servicing and installation).

Right-of-Way: An area or strip of land, either public or private, on which an irrevocable right of passage has been recorded for the use of vehicles or pedestrians, or both.

Screened: Shielded, concealed, and effectively hidden from view by a person standing at ground level on an abutting site, or outside the area or subject so screened, by a fence, wall, hedge, berm or similar architectural or landscape feature.

Setback Line: A line within a lot parallel to and measured from a corresponding lot line, forming the boundary of a required yard and governing the placement of structures and uses on the lot.

Shopping Center: A commercial center, or group of commercial establishments, planned, developed, managed, and maintained as a unit, with common off-street parking provided to serve all uses on the property.

Site Plan: A plan, prepared to scale, showing accurately and with complete dimensioning, all of the buildings, structures and uses and the exact manner of development proposed for a specific parcel of land.

Site Plan Review: The approval process as specified in Chapter 17.44, Permit Review Procedures.

Story: That portion of a building included between the upper surface of any floor and the upper surface of the floor next above, except that the topmost story shall be that portion of a building included between the upper surface of the topmost floor and the ceiling or roof above.

Street: A public or private thoroughfare which affords a primary means of access to abutting property, including all land within the right-of-way thereof.

Structure: That which is built or constructed an edifice or building of any kind, or any piece of work artificially built up or composed of parts joined together in some definite manner.

Swimming Pool: An outside body of water artificially created and used for swimming or bodily immersion any portion of which exceeds 18 inches in depth.

Trail: A trail or way designed for and used by equestrians, pedestrians, or cyclists using non-motorized bicycles.

Ultimate Right-of-Way: The right-of-way shown as ultimate on an adopted precise plan of highway alignment, or the street rights-of-way shown within the boundary of a recorded tract map, a recorded parcel map, or a recorded Planning Commission development plan. The latest adopted or recorded document in the above cases shall take precedence. If none of these exists, the ultimate right-of-way shall be considered the right-of-way required by the highway classification as shown on the Master Plan of Arterial Highways. In all other instances, the ultimate right-of-way shall be considered to be the existing right-of-way.

Use: The purpose for which land or a building is occupies, arranged, designed, or intended, or for which either land or building is or may be occupied or maintained.

Zero Lot Line: A type of residential development in which residential dwellings on individual lots of records are situated so that one or two of the exterior building walls are located directly on the property line.